

8330

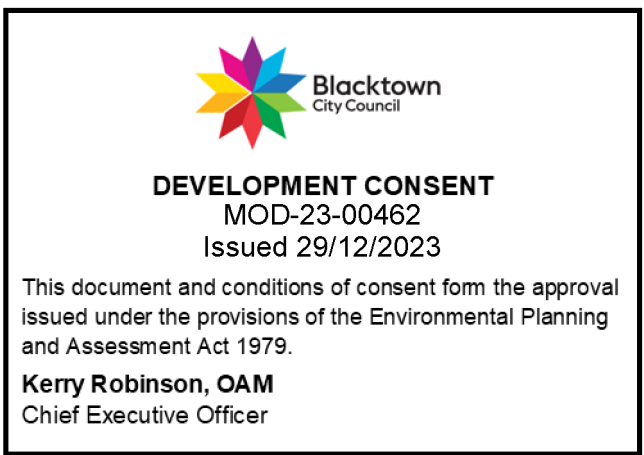
SECTION 4.55 SUBMISSION

PROPOSED RESIDENTIAL DEVELOPMENT

38 CUDGEGONG RD

ROUSE HILL, NSW 2155

	ALLOWABLE	PROPOSED	COMPLIES
01.SITE AREA	-	12,250.00 m ²	N/A
GROSS SITE AREA (including road)	-	14924.12 m ²	N/A
02.ZONE	R3	-	YES
03.BUILDING HEIGHT	MAX. 26 m	REFER TO HEIGHT STUDY DRAWINGS	
04.FSR (Gross Floor Area)	1.75 : 1 26,117.22 m ²	1.75 : 1 26,115.2 m ²	YES
05.NUMBER OF UNIT	-	1 BEDROOM / STUDIO = 32 2 BEDROOM = 231 3 BEDROOM = 32 TOTAL = 295	YES
06.CAR SPACE			
- 1 BEDROOM / STUDIO	1 per UNIT 32 UNIT = 32	= 32	
- 2 BEDROOM	1 per UNIT 231 UNIT = 231	= 231	
- 3 BEDROOM	1.5 per UNIT 32 UNIT = 48	= 64	
- VISITOR	0.2 per UNIT 295 x 0.2 = 59	= 59	
- LOST OF ON-STREET PARKING (SUBSTITUTION)	22	= 22	
	CAR SPACES REQUIRED = 392	CAR SPACE PROVIDED = 408	YES
07.SOLAR ACCESS	70 %	70.85 % (209 OF 295 UNITS)	YES
08.CROSS VENTILATION	60 %	63.39 % (187 OF 295 UNITS)	YES
09.ADAPTABLE UNIT	10% OF 295 UNITS = 30 UNIT	30 UNIT	YES
10.DEEP SOIL ZONE	1837.5 m ² (MIN 15 % OF SITE)	2,334.5 m ² (19.06 % OF SITE)	YES
11.LANDSCAPE	3,675 m ² (MIN 30 % OF SITE)	4,551.5 m ² (37.16 % OF SITE)	YES
12.COMMON OPEN SPACE	3,062.5 m ² (MIN 25 % OF SITE)	3,131.3 m ² (25.56 % OF SITE)	YES
13.SITE COVERAGE	6,125 m ² (MAX 50 % OF SITE)	5,061.9 m ² (41.32 % OF SITE)	YES

[illegible]

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H	ISSUED FOR SECTION 4.55	19/01/21	VV	RKK					
G	ISSUED FOR SECTION 4.55(1A)	14/12/19	VV.JA	RKK					
F	RESPONSE TO COUNCIL	14/07/17	CWL	RKK					
E	RESPONSE TO COUNCIL	06/07/17	CWL	RKK					
D	RESPONSE TO COUNCIL RFI	28/03/17	JA.CW	RKK					
C	RESPONSE TO COUNCIL RFI	22/03/17	JA.CW.VV	RKK					
ISSUE	AMENDMENT	DATE	DRAWN	CHECK					

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28 495 869 790 / abn


PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155

L.G.A : BLACKTOWN CITY COUNCIL

As indicated @ A1 sheet
SCALE

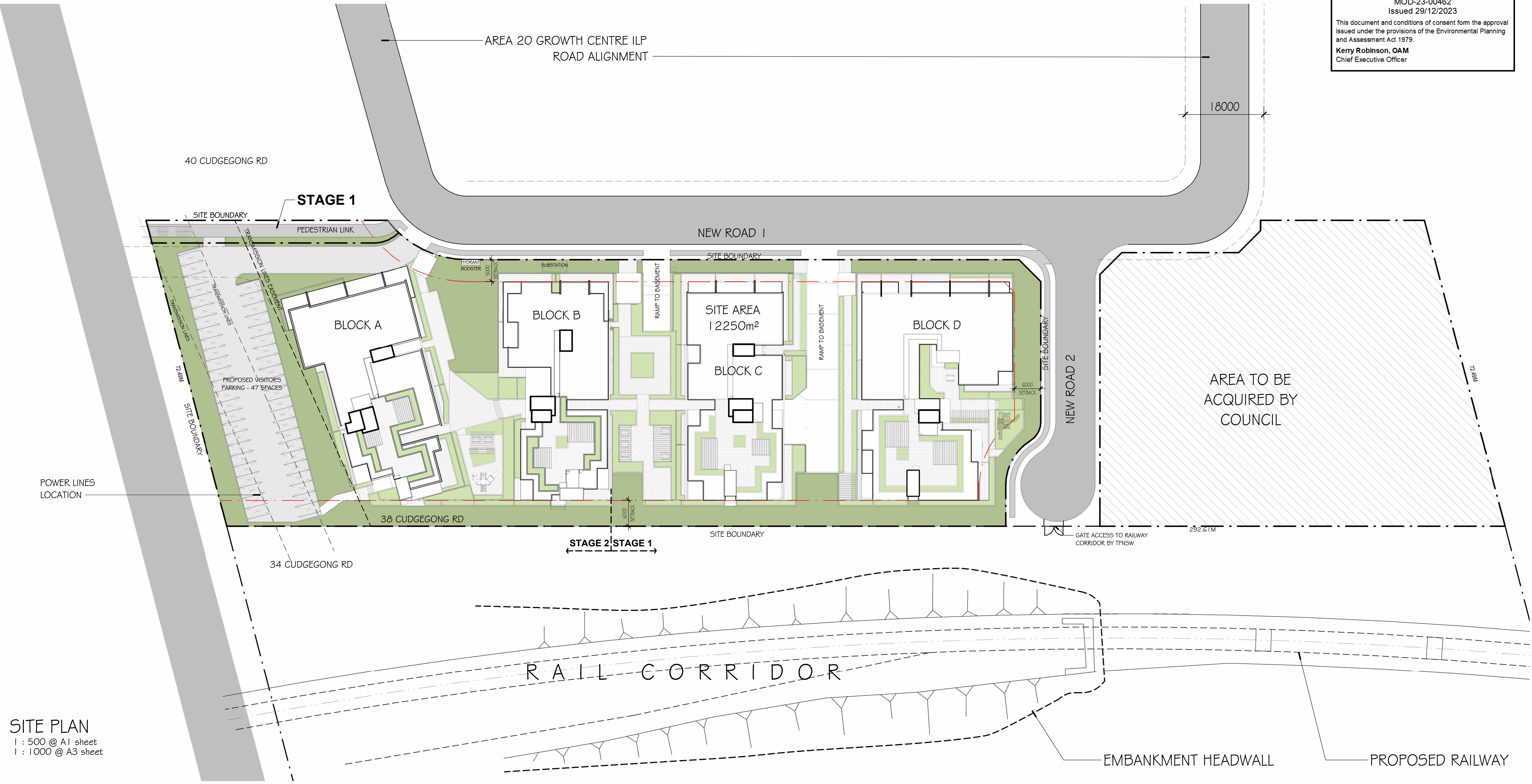
8330 DA001
JOB No. DRAWING No.

ISSUE



Blacktown
City Council

DEVELOPMENT CONSENT
MOD-23-00462
Issued 29/12/2023
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Kerry Robinson, OAM
Chief Executive Officer

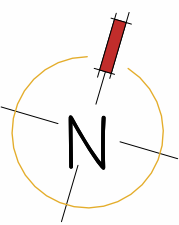


SITE PLAN
1 : 500 @ A1 sheet
1 : 1000 @ A3 sheet

NOTE:
- RAILWAY LOCATION BASED ON SKETCH FROM TRANSPORT NSW, (SENT 14 OCT 2014)

SUMMARY OF PROPOSED MODIFICATIONS:
- STAIRS EXTENDED TO ROOFS AND FIRE EGRESS PATHS INDICATED FOR BCA COMPLIANCE
- ROOF TERRACE LAYOUTS SIMPLIFIED

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I	ISSUED FOR SECTION 4.55	07/07/23	PN,BC
H	ISSUED FOR SECTION 4.55	19/10/21	VV
G	ISSUED FOR SECTION 4.55(1A)	14/12/19	VV,JA
F	ISSUED FOR SECTION 4.55(1A)	24/04/19	VV
E	RESPONSE TO COUNCIL	06/07/17	CWL
D	RESPONSE TO COUNCIL RFI	28/03/17	JA,CW,VV,KK
ISSUE	AMENDMENT	DATE	DRAWN
			CHECK
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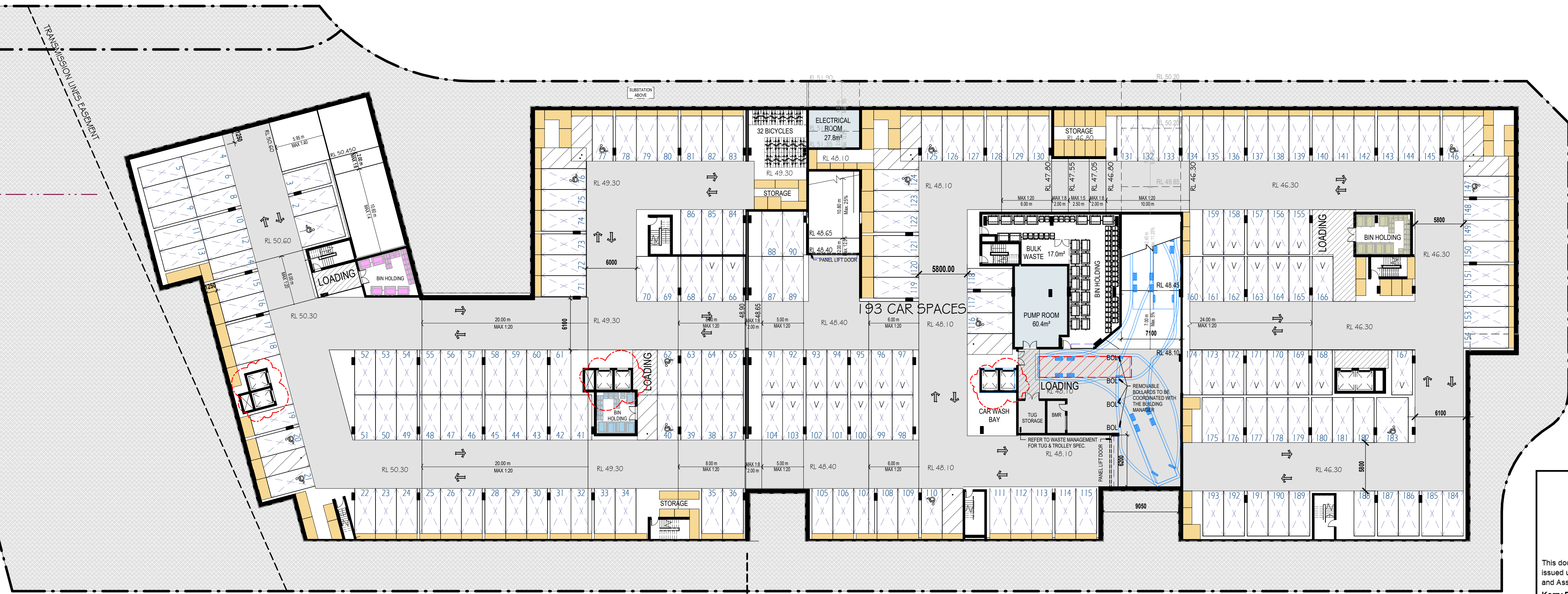
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PROJECT STATUS :
SECTION 4.55


PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
SITE PLAN OVERALL
1 : 500 @ A1 sheet
SCALE
8330
JOB No.
DA002
DRAWING No.

BASEMENT 1 PLAN
1 : 300



STAGE 2 STAGE 1

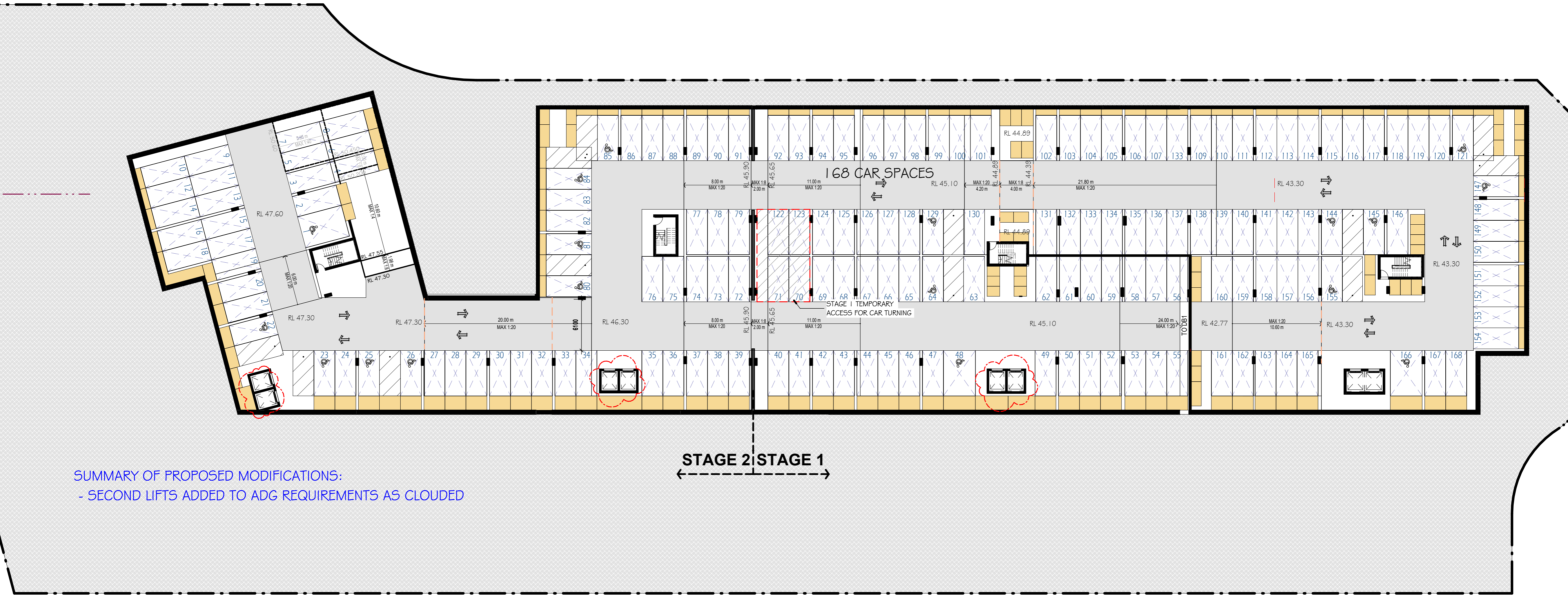

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Chief Executive Officer

BASEMENT 2 PLAN
1 : 300

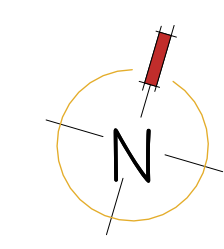


STAGE 2 STAGE 1

SUMMARY OF PROPOSED MODIFICATIONS:
- SECOND LIFTS ADDED TO ADG REQUIREMENTS AS CLOUDED

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K	RESPONSE TO COUNCIL	04/05/22	VV
J	RESPONSE TO COUNCIL	23/01/22	VV
I	ISSUED FOR SECTION 4.55	19/10/21	VV
H	ISSUED FOR SECTION 4.55(1A)	24/04/19	VV
G	RESPONSE TO COUNCIL RFI	06/11/17	CWL
F	RESPONSE TO COUNCIL	14/07/17	CWL
ISSUE	AMENDMENT	DATE	DRAWN CHECK

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38 CUDGEGONG RD
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L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
BASEMENT PLANS
OVERALL
1 : 300 @ A1 sheet
SCALE
8330
JOB No.
DA003
DRAWING No.
15907

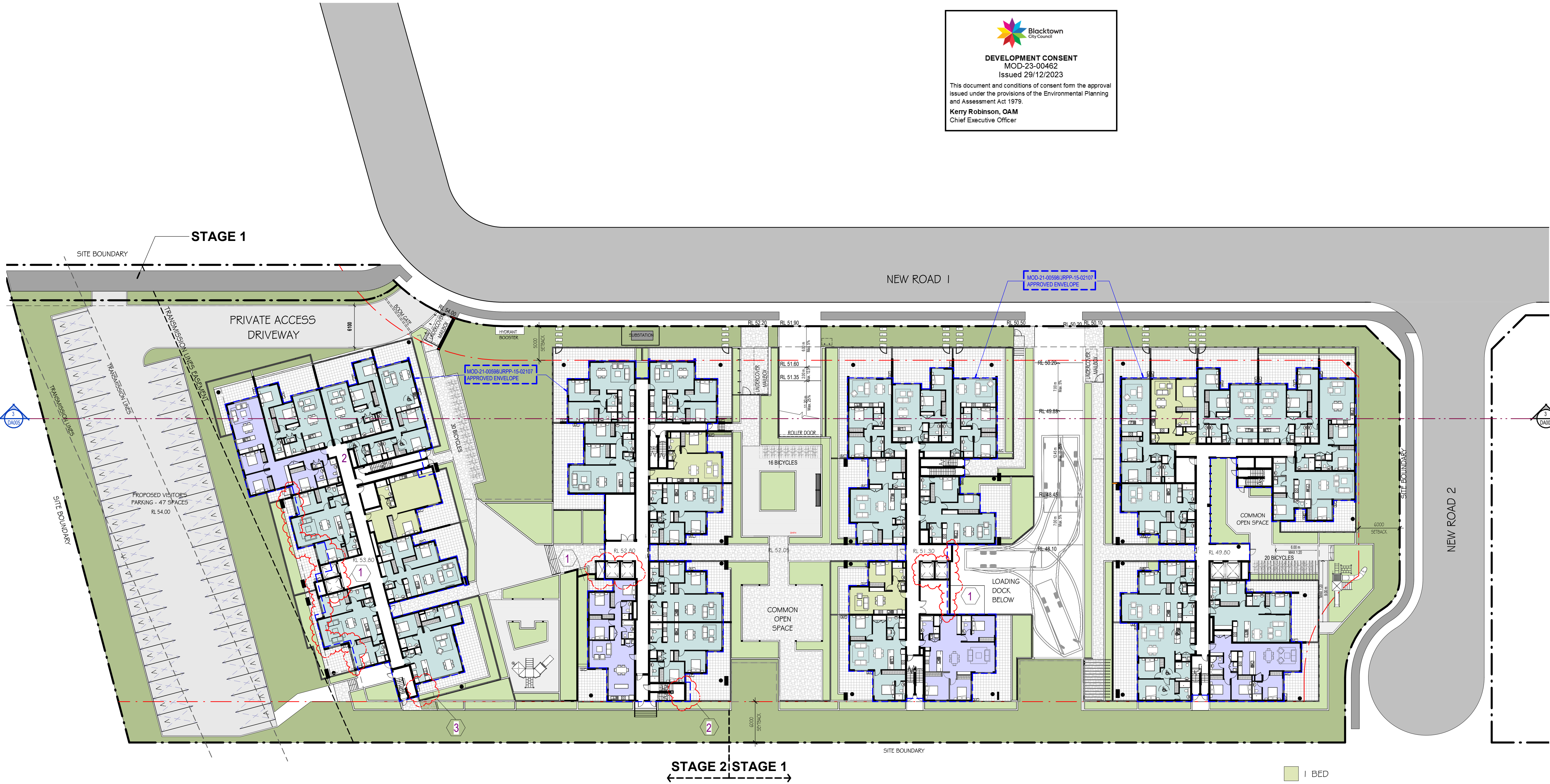


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GROUND FLOOR PLAN

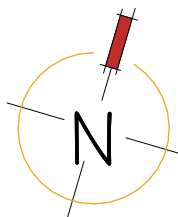
1 : 300 @ A1 sheet
1 : 600 @ A3 sheet

SUMMARY OF PROPOSED MODIFICATIONS:

- 1 - SECOND LIFT ADDED TO ADG REQUIREMENTS AS CLOUDED IN BUILDINGS A, B & C, BUILDING OUTLINE AMENDED AS CLOUDED
- 2 - SERVICE SHAFT REMOVED AND TERRACE OUTLINE ADJUSTED
- 3 - OUTLINE OF TERRACE ADJUSTED
- 4 - GENERAL - EXTERNAL ROUND COLUMNS ADDED TO BALCONY CORNERS

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J	ISSUED FOR SECTION 4.55	07/07/23	PN,BC	TR,PN
I	RESPONSE TO COUNCIL	04/05/22	VV	RKK
H	ISSUED FOR SECTION 4.55	19/10/21	VV	RKK
G	ISSUED FOR SECTION 4.55(1A)	24/04/19	VV	RKK
F	RESPONSE TO COUNCIL	14/07/17	CWL	RKK
E	RESPONSE TO COUNCIL	06/07/17	CWL	RKK
ISSUE	AMENDMENT	DATE	DRAWN	CHECK
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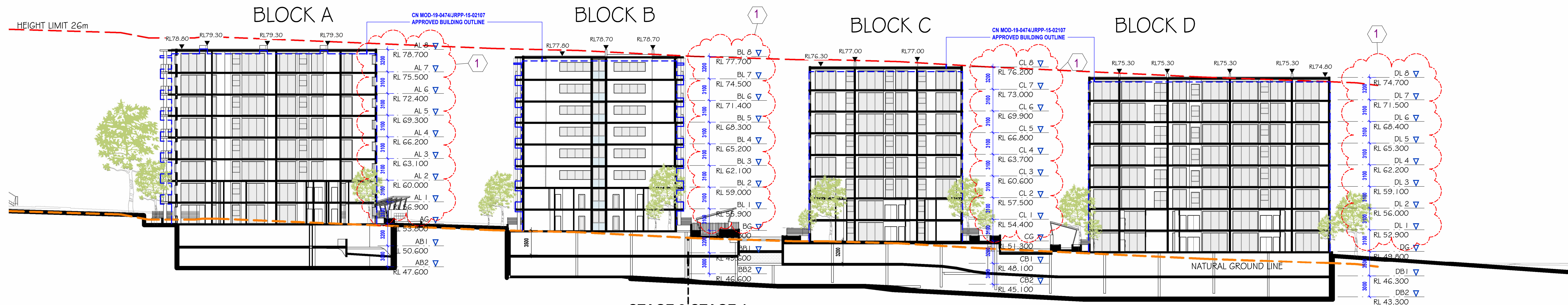


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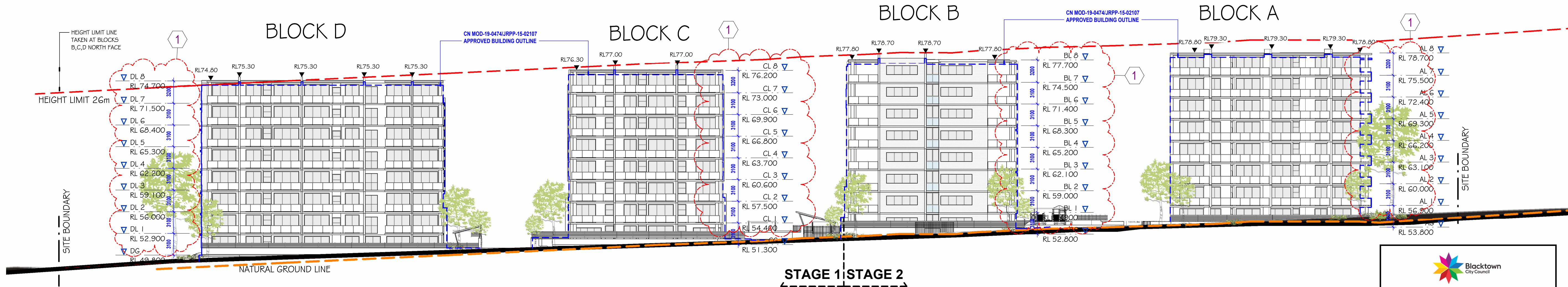
PROJECT STATUS :
SECTION 4.55

PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155
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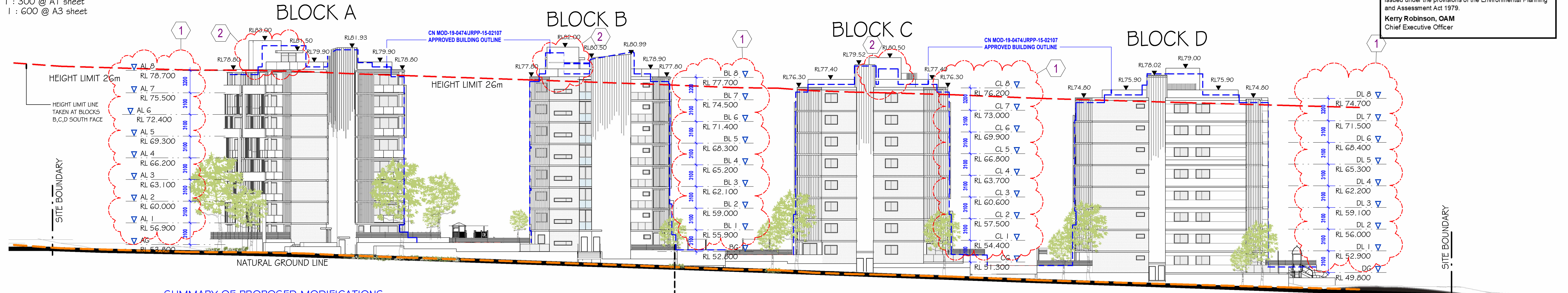
SHEET TITLE:
GROUND FLOOR PLAN
OVERALL
1 : 300 @ A1 sheet
SCALE
8330
JOB No.
DA004
DRAWING No.
K
15502



CROSS SECTION
1 : 300 @ A1 sheet
1 : 600 @ A3 sheet



NORTH ELEVATION
1 : 300 @ A1 sheet
1 : 600 @ A3 sheet




SOUTH ELEVATION
1 : 300 @ A1 sheet
1 : 600 @ A3 sheet

- SUMMARY OF PROPOSED MODIFICATIONS:
- 1 - FLOOR TO FLOOR HEIGHTS ADJUSTED AS CLOUDED TO COMPLY WITH ADG REQUIREMENTS
 - 2 - SECOND LIFTS ADDED TO ADG REQUIREMENTS AS CLOUDED TO BUILDINGS A, B & C, BUILDING OUTLINE AMENDED AS CLOUDED
 - 3 - GENERAL - EXTERNAL ROUND COLUMNS ADDED TO BALCONY CORNERS
 - 4 - GENERAL - ROOF LOBBY HEIGHTS REDUCED

Blacktown City Council
DEVELOPMENT CONSENT
MOD-23-00462
Issued 29/12/2023
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						ISSUED FOR SECTION 4.55		07/07/23	PN,BC	TR,PN			
						ISSUED FOR SECTION 4.55		19/10/21	VV	RKK			
						ISSUED FOR SECTION 4.55(1A)		14/12/19	VV,JA	RKK			
						ISSUED FOR SECTION 4.55(1A)		24/04/19	VV	RKK			
						RESPONSE TO COUNCIL		06/07/17	CWL	RKK			
				ISSUE									



Blacktown
City Council

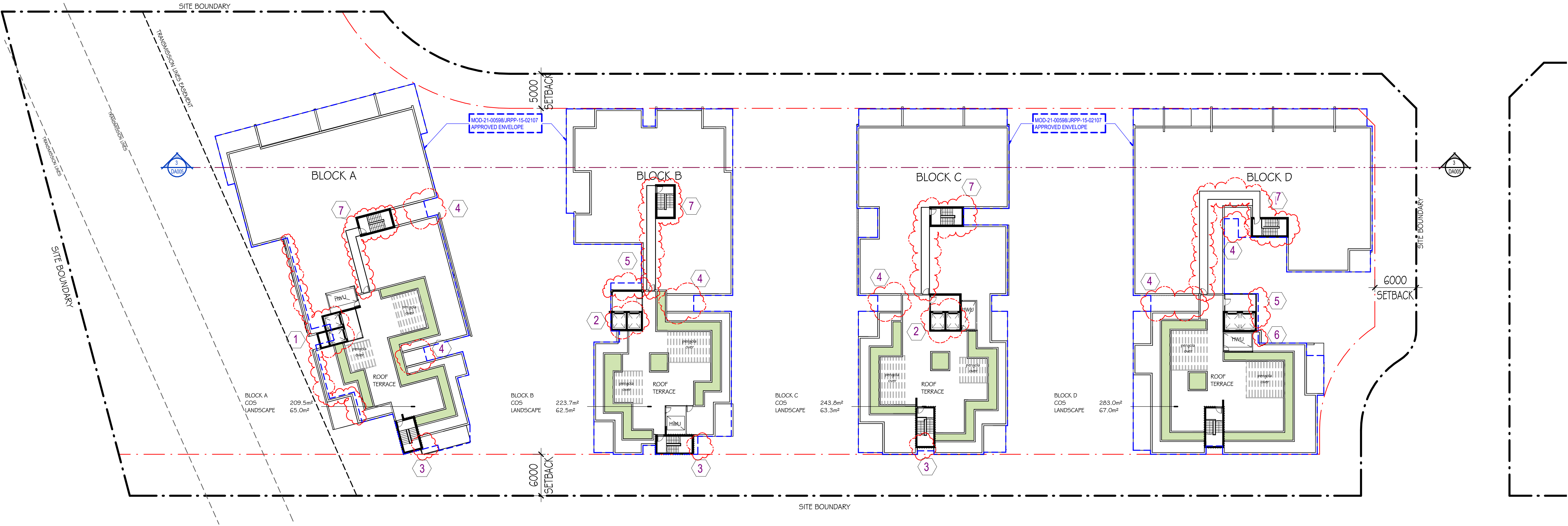
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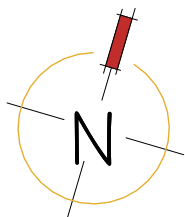
SUMMARY OF PROPOSED MODIFICATIONS:

- 1 - SECOND LIFT ADDED TO ADG REQUIREMENTS, SERVICE SHAFT EXTENDED AS PER PREVIOUSLY APPROVED GROUND FLOOR PLAN, ROOF OUTLINE ADJUSTED TO SUIT AS CLOUDED
- 2 - SECOND LIFT ADDED TO ADG REQUIREMENTS & BUILDING OUTLINE ADJUSTED TO SUIT AS CLOUDED
- 3 - SERVICE SHAFTS REMOVED AS CLOUDED
- 4 - ROOF OUTLINES REDUCED AS CLOUDED
- 5 - BUILDING OUTLINES REDUCED AS CLOUDED
- 6 - BUILDING OUTLINES INCREASED AS CLOUDED
- 7 - STAIRS EXTENDED TO ROOFS AND FIRE EGRESS PATHS INDICATED AS CLOUDED FOR BCA COMPLIANCE
- 8 - GENERAL - ROOF TERRACE LAYOUTS SIMPLIFIED

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E	ISSUED FOR SECTION 4.55	19/10/21	VV	RKK
D	ISSUED FOR SECTION 4.55(1A)	14/12/19	VV,JA	RKK
C	ISSUED FOR SECTION 4.55(1A)	24/04/19	VV	RKK
B	RESPONSE TO COUNCIL	06/07/17	CWL	RKK
A	RESPONSE TO COUNCIL	10/04/17	JA,CW,VV,KK	RKK
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PROJECT STATUS :
SECTION 4.55

PROJECT NAME
**PROPOSED RESIDENTIAL
DEVELOPMENT**
38 CUDGEGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

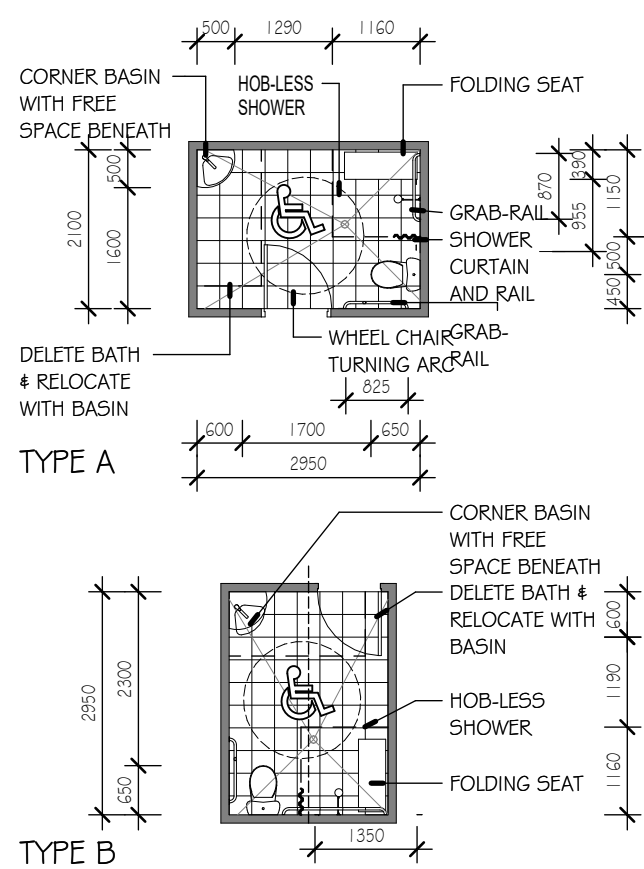
SHEET TITLE:
**ROOF TOP TERRACE /
ROOF PLAN**
1 : 300 @ A1 sheet
SCALE
8330
JOB No.
DA006
DRAWING No.
G
ISSUE



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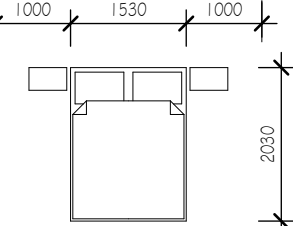
BATH ROOM - POST ADAPTABLE LAYOUT



NOTE:
ALL FITTINGS AND INSTALLATION TO COMPLY AS 1428.1 (INCLUDING ALL FITTINGS NOT SHOWN (E.G. TOILET ROLL HOLDER))

FLOOR GRADE TO 1.80 FOR AUTO DRAINAGE - CLAUSE 10.1
DIMENSIONS SHOWN TO FINISHED SURFACE

IN OVERSIZED BATHROOMS WHERE TURNING TEMPLATE CAN BE ACHIEVED AND COMPLIANCE MAINTAINED, BATHS NEED NOT BE DELETED - ONLY BASINS SUBSTITUTED.



NOTE:
STANDARD AUSTRALIAN QUEEN SIZE BED - 1 530 x 2 020
MINIMUM SIDE CLEARANCE - 1.0m

1 BED
2 BED
3 BED

NOTE:
- A/C condensor units connected to stormwater drainage.



GROUND FLOOR PLAN

1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

SUMMARY OF PROPOSED MODIFICATIONS:

- 1 - SECOND LIFT ADDED TO ADG REQUIREMENTS & BUILDING OUTLINE ADJUSTED TO SUIT AS CLOUDED, MINOR MODIFICATIONS TO INTERNAL LAYOUTS OF AFFECTED UNITS
- 2 - SECOND LIFT ADDED TO ADG REQUIREMENTS & BUILDING OUTLINE ADJUSTED TO SUIT AS CLOUDED
- 3 - STAIR REDESIGNED & COMMUNITY AREA RELOCATED TO MATCH APPROVED GROUND FLOOR LAYOUTS AS PER MOD-21-00598/JRPP-15-02107
- 4 - SERVICE SHAFTS REMOVED AND TERRACE OUTLINES ADJUSTED
- 5 - GENERAL - EXTERNAL ROUND COLUMNS ADDED TO BALCONY CORNERS
- 6 - GENERAL - MINOR ADJUSTMENTS TO INTERNAL APARTMENT LAYOUTS TO MATCH APPROVED GROUND FLOOR LAYOUTS AS PER MOD-21-00598/JRPP-15-02107

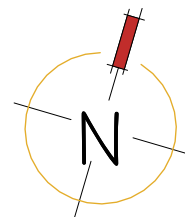
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I ISSUED FOR SECTION 4.55
H ISSUED FOR SECTION 4.55
G ISSUED FOR SECTION 4.55(1A)
F RESPONSE TO COUNCIL
E RESPONSE TO COUNCIL
D RESPONSE TO COUNCIL RFI
ISSUE AMENDMENT

27/09/23 PN,BC TR,PN
07/07/23 PN,BC TR,PN
19/10/21 VV RKK
24/04/19 VV RKK
14/07/17 CWL RKK
06/07/17 CWL RKK
28/03/17 JA,CW,VV,KK RKK
DATE DRAWN CHECK

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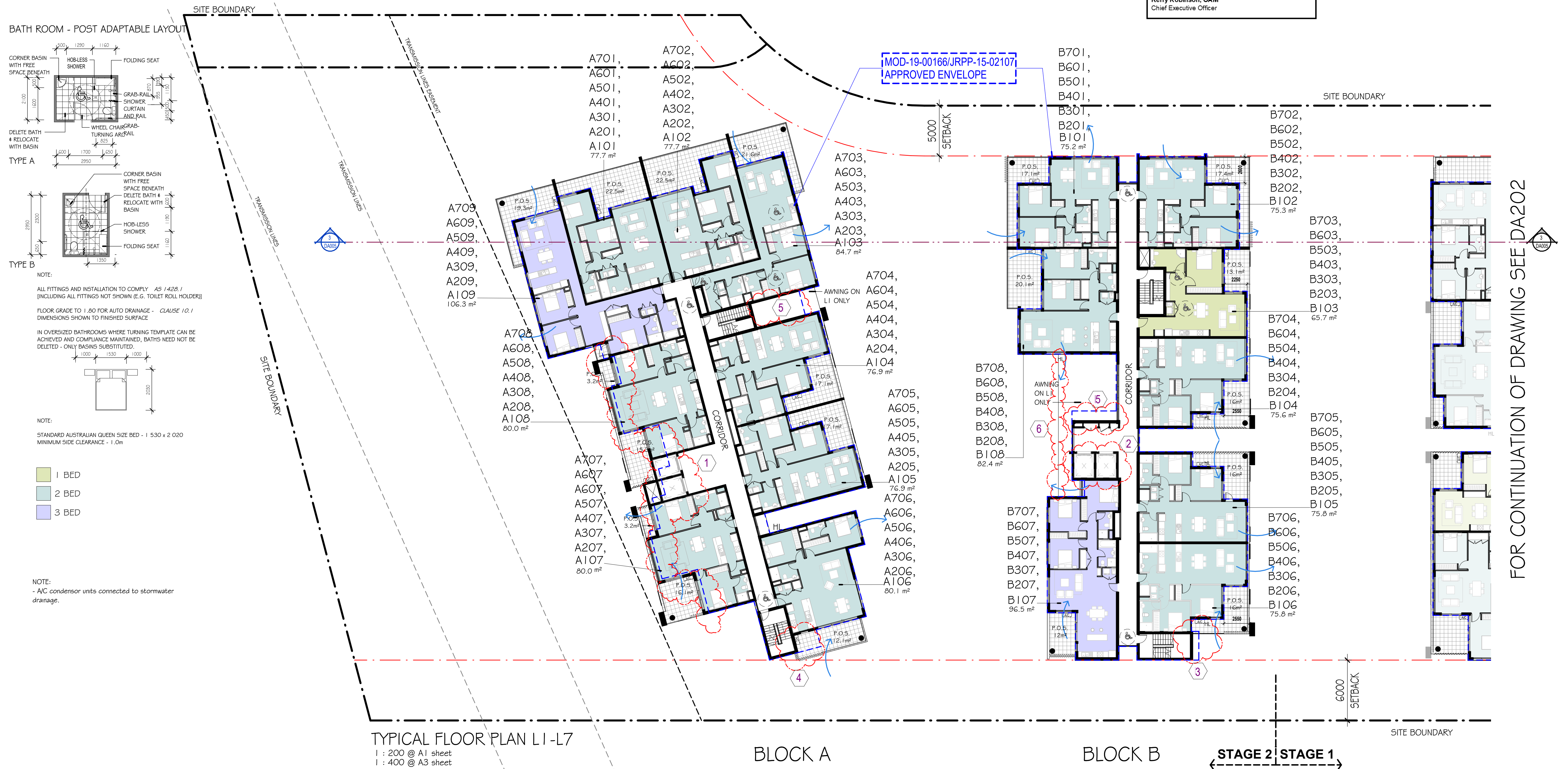


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PROJECT STATUS :
SECTION 4.55

PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
AB - GROUND FLOOR
PLAN
As indicated @ A1 sheet
SCALE
8330 DA103
JOB No. DRAWING No.

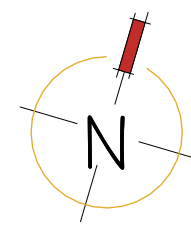


FOR CONTINUATION OF DRAWING SEE DAZ02

- 1 - SECOND LIFT ADDED TO ADG REQUIREMENTS, SERVICE SHAFT EXTENDED AS PER PREVIOUSLY APPROVED GROUND FLOOR PLAN, BUILDING OUTLINE ADJUSTED TO SUIT AS CLOUDED, MINOR MODIFICATIONS TO INTERNAL LAYOUTS OF AFFECTED UNITS
- 2 - SECOND LIFT ADDED TO ADG REQUIREMENTS & BUILDING OUTLINE ADJUSTED TO SUIT AS CLOUDED
- 3 - SERVICE SHAFTS REMOVED AS CLOUDED
- 4 - SERVICE SHAFTS REMOVED AND TERRACE OUTLINES ADJUSTED AS CLOUDED
- 5 - BUILDING OUTLINES REDUCED AS CLOUDED
- 6 - CONCRETE AWNING ADDED AS CLOUDED
- 7 - GENERAL - MINOR ADJUSTMENTS TO INTERNAL APARTMENT LAYOUTS TO MATCH APPROVED GROUND FLOOR LAYOUTS AS PER MOD-21-00598/JRPP-15-02107
- 8 - GENERAL - EXTERNAL ROUND COLUMNS ADDED TO BALCONY CORNERS

I	RE-ISSUED FOR SECTION 4.55	27/09/23	PN,BC	TR,PN
H	ISSUED FOR SECTION 4.55	07/07/23	PN,BC	TR,PN
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C	RESPONSE TO COUNCIL RFI	22/03/17	JA,CW,VV,KK	RKK
ISSUE	AMENDMENT	DATE	DRAWN	CHECK

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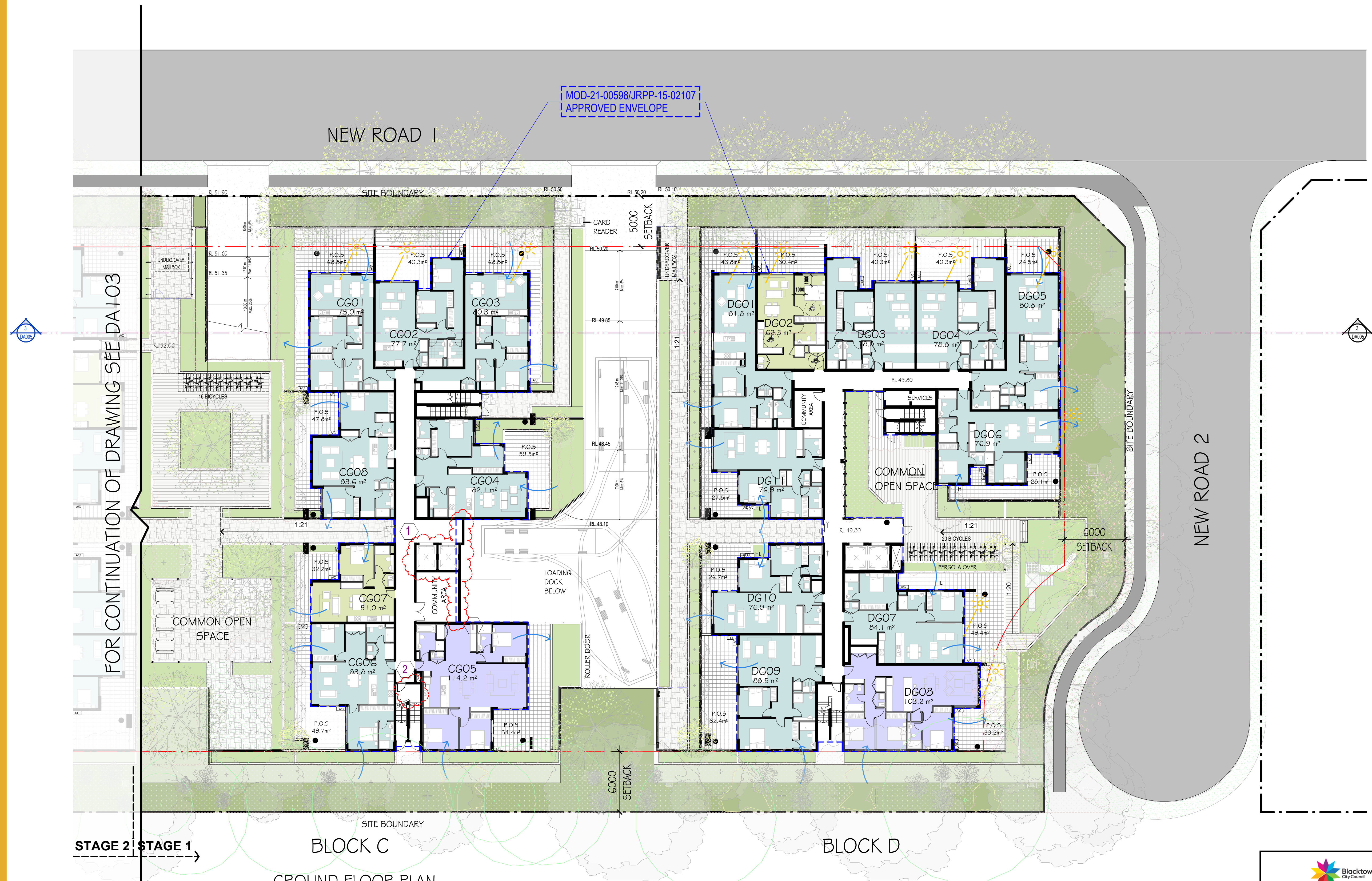
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PROJECT STATUS :
SECTION 4.55

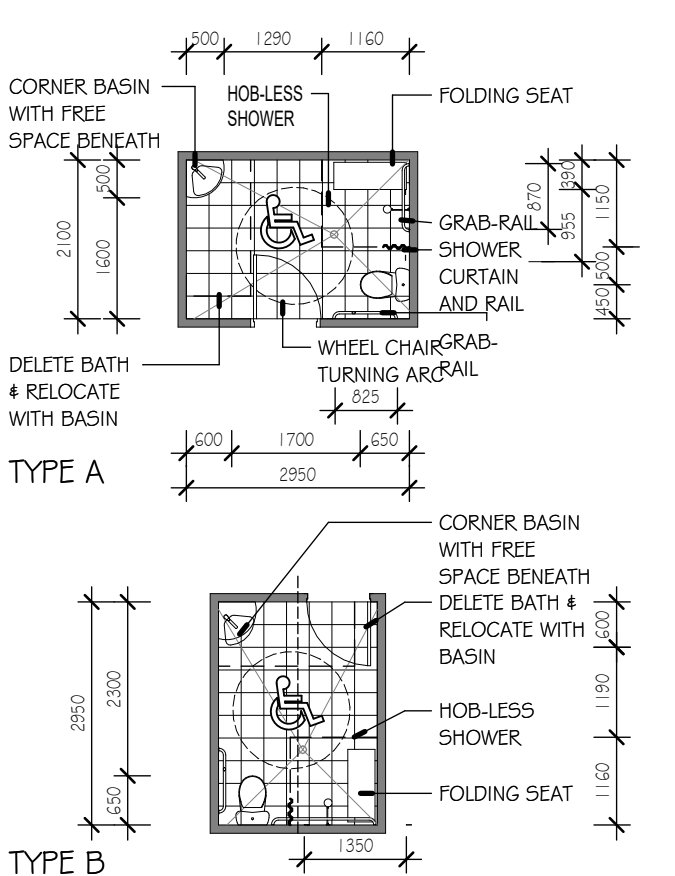
PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155

L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
AB - FLOOR PLAN LEVEL
1-7 TYPICAL
As indicated @ A1 sheet
SCALE
8330 DA104
JOB No. DRAWING No. ISSUE



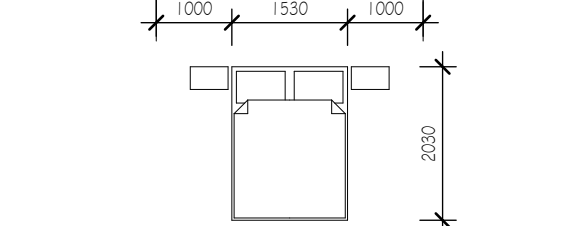
BATH ROOM - POST ADAPTABLE LAYOUT



NOTE:
ALL FITTINGS AND INSTALLATION TO COMPLY AS 1428.1
(INCLUDING ALL FITTINGS NOT SHOWN (E.G. TOILET ROLL HOLDER))

FLOOR GRADE TO 1.80 FOR AUTO DRAINAGE - CLAUSE 10.1
DIMENSIONS SHOWN TO FINISHED SURFACE

IN OVERSIZED BATHROOMS WHERE TURNING TEMPLATE CAN BE
ACHIEVED AND COMPLIANCE MAINTAINED, BATHS NEED NOT BE
DELETED - ONLY BASINS SUBSTITUTED.



NOTE:
STANDARD AUSTRALIAN QUEEN SIZE BED - 1530 x 2020
MINIMUM SIDE CLEARANCE - 1.0m

- 1 BED
- 2 BED
- 3 BED

NOTE:
- A/C condensor units connected to stormwater
drainage.

GROUND FLOOR PLAN
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

- SUMMARY OF PROPOSED MODIFICATIONS:
- 1 - SECOND LIFT ADDED TO ADG REQUIREMENTS & BUILDING OUTLINE ADJUSTED TO SUIT AS CLOUDED
 - 2 - SERVICE SHAFTS REMOVED AS CLOUDED
 - 3 - GENERAL - EXTERNAL ROUND COLUMNS ADDED TO BALCONY CORNERS
 - 4 - MINOR ADJUSTMENTS TO INTERNAL APARTMENT LAYOUTS TO MATCH APPROVED GROUND FLOOR LAYOUTS AS PER MOD-21-00598/JRPP-15-02107

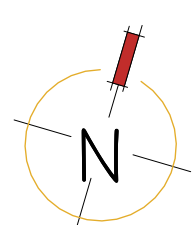
Blacktown City Council

DEVELOPMENT CONSENT
MOD-23-00462
Issued 29/12/2023

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Kerry Robinson, OAM
Chief Executive Officer

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H	ISSUED FOR SECTION 4.55	19/10/21	VV
G	ISSUED FOR SECTION 4.55(1A)	24/04/19	VV
F	RESPONSE TO COUNCIL	14/07/17	CWL
E	RESPONSE TO COUNCIL	06/07/17	CWL
D	RESPONSE TO COUNCIL RFI	28/03/17	JA,CW,VV,KK
ISSUE	AMENDMENT	DATE	DRAWN CHECK



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28 495 869 780 /am

PROJECT STATUS :
SECTION 4.55

PROJECT NAME
PROPOSED RESIDENTIAL DEVELOPMENT
38 CUDGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
CD - GROUND FLOOR PLAN
As indicated @ A1 sheet
SCALE
8330 DA201
JOB No. DRAWING No.

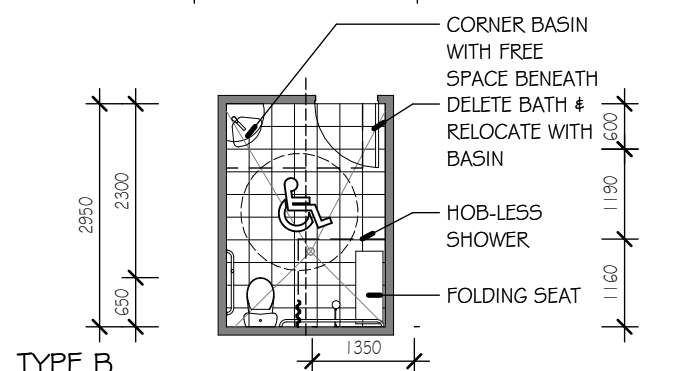
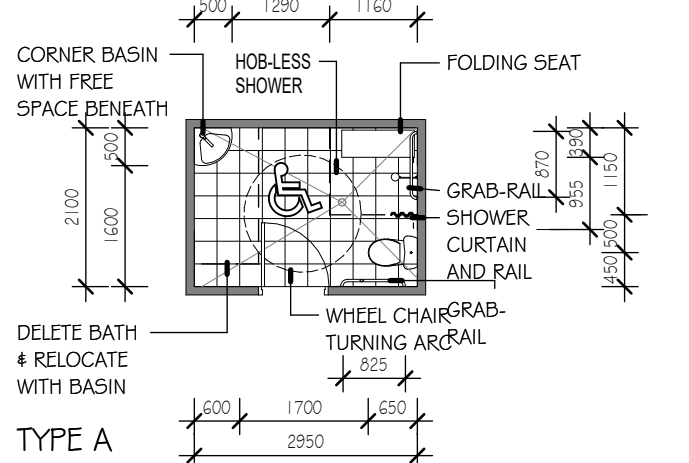


DEVELOPMENT CONSENT
MOD-23-00462
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Chief Executive Officer

BATH ROOM - POST ADAPTABLE LAYOUT

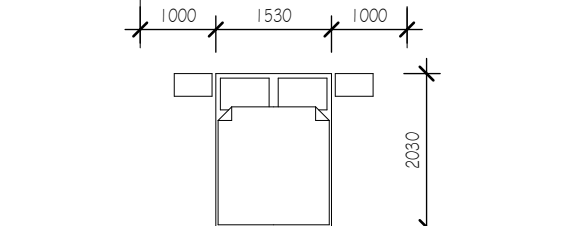


NOTE:

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FLOOR GRADE TO 1.80 FOR AUTO DRAINAGE - CLAUSE 10.1 DIMENSIONS SHOWN TO FINISHED SURFACE

IN OVERSIZED BATHROOMS WHERE TURNING TEMPLATE CAN BE ACHIEVED AND COMPLIANCE MAINTAINED, BATHS NEED NOT BE DELETED - ONLY BASINS SUBSTITUTED.



NOTE:

STANDARD AUSTRALIAN QUEEN SIZE BED - 1 530 x 2 020
MINIMUM SIDE CLEARANCE - 1.0m

- 1 BED
2 BED
3 BED

NOTE:

- A/C condenser units connected to stormwater drainage.

FOR CONTINUATION OF DRAWING SEE DA104



SUMMARY OF PROPOSED MODIFICATIONS:

- 1 - SECOND LIFT ADDED TO ADG REQUIREMENTS & BUILDING OUTLINE ADJUSTED TO SUIT AS CLOUDED
- 2 - SERVICE SHAFTS REMOVED AS CLOUDED
- 3 - AWNINGS INTRODUCED AT LEVEL 1 AS CLOUDED
- 4 - BUILDING OUTLINES REDUCED AS CLOUDED, STAIR & SERVICE SHAFTS REDESIGNED
- 5 - BUILDING OUTLINES INCREASED AS CLOUDED
- 6 - BALCONY EXTENDED AS CLOUDED
- 7 - GENERAL - MINOR ADJUSTMENTS TO INTERNAL APARTMENT LAYOUTS TO MATCH APPROVED GROUND FLOOR LAYOUTS AS PER MOD-21-00598/JRPP-15-02107
- 8 - GENERAL - EXTERNAL ROUND COLUMNS ADDED TO BALCONY CORNERS

TYPICAL FLOOR PLAN L1-L7

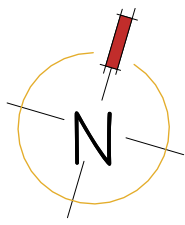
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

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G	ISSUED FOR SECTION 4.55	19/10/21	VV	RKK
F	ISSUED FOR SECTION 4.55(1A)	24/04/19	VV	RKK
E	RESPONSE TO COUNCIL	06/07/17	CWL	RKK
D	RESPONSE TO COUNCIL RFI	28/03/17	JA,CW,VV,KK	RKK
C	RESPONSE TO COUNCIL RFI	22/03/17	JA,CW,VV,KK	RKK
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PROJECT STATUS:

SECTION 4.55

PROJECT NAME

PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155

L.G.A.: BLACKTOWN CITY COUNCIL

SHEET TITLE:

CD - FLOOR PLAN LEVEL

1-7 TYPICAL
As indicated @ A1 sheet
SCALE

8330 DA202
JOB No. DRAWING No.



NORTH ELEVATION - BLOCK A

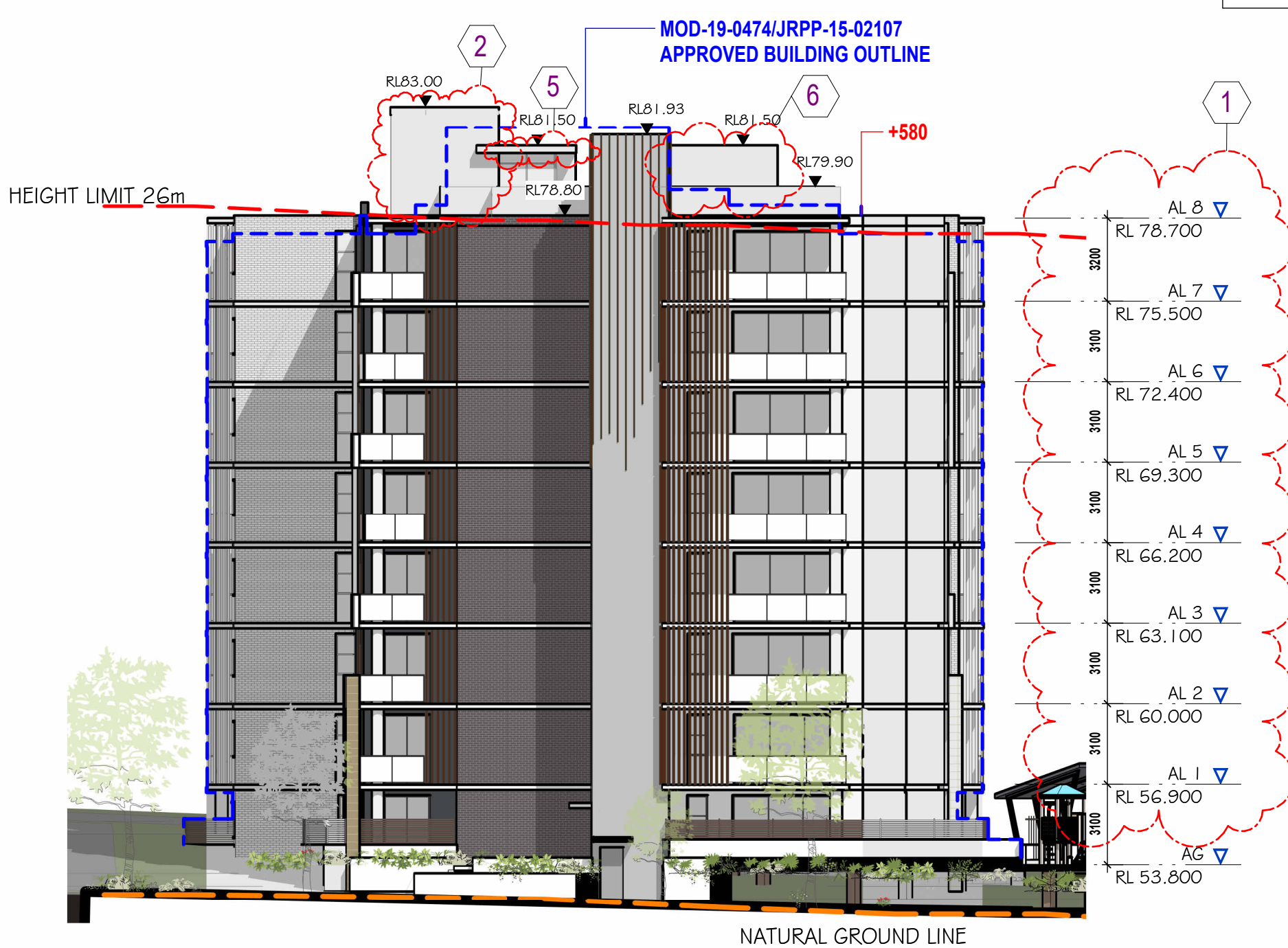
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet



EAST ELEVATION - BLOCK A

1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

NOTE:
HEIGHT LIMIT LINES INDICATED
AT BUILDING FACE U.N.O.



SOUTH ELEVATION - BLOCK A

1 : 200 @ A1 sheet
1 : 400 @ A3 sheet



WEST ELEVATION - BLOCK A

1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

SUMMARY OF PROPOSED MODIFICATIONS:

- 1 - FLOOR TO FLOOR HEIGHTS ADJUSTED AS CLOUDED TO COMPLY WITH ADG REQUIREMENTS
- 2 - SECOND LIFT ADDED TO ADG REQUIREMENTS AND SERVICE SHAFT CONTINUED AS CLOUDED
- 3 - SECOND LIFT ADDED TO ADG REQUIREMENTS AS CLOUDED
- 4 - HOT WATER UNIT SCREENS SHOWN TO MATCH PREVIOUSLY APPROVED PLANS AS CLOUDED
- 5 - ROOF LOBBY HEIGHTS REDUCED AS CLOUDED
- 6 - STAIRS EXTENDED TO ROOFS & FIRE EGRESS PATH FENCING INDICATED AS CLOUDED FOR BCA COMPLIANCE
- 7 - GENERAL - EXTERNAL ROUND COLUMNS ADDED TO BALCONY CORNERS

LEGEND

+150 INDICATES HEIGHT OF HABITABLE PORTION OF BUILDING ABOVE
26m HEIGHT PLANE (IN MILLIMETRES)

STAGE 2

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I	ISSUED FOR SECTION 4.55	07/07/23	PN,BC	TR,PN
H	ISSUED FOR SECTION 4.55	19/10/21	VV	RKK
G	ISSUED FOR SECTION 4.55(1A)	14/12/19	VV,JA	RKK
F	ISSUED FOR SECTION 4.55(1A)	24/04/19	VV	RKK
ISSUE	AMENDMENT	DATE	DRAWN	CHECK

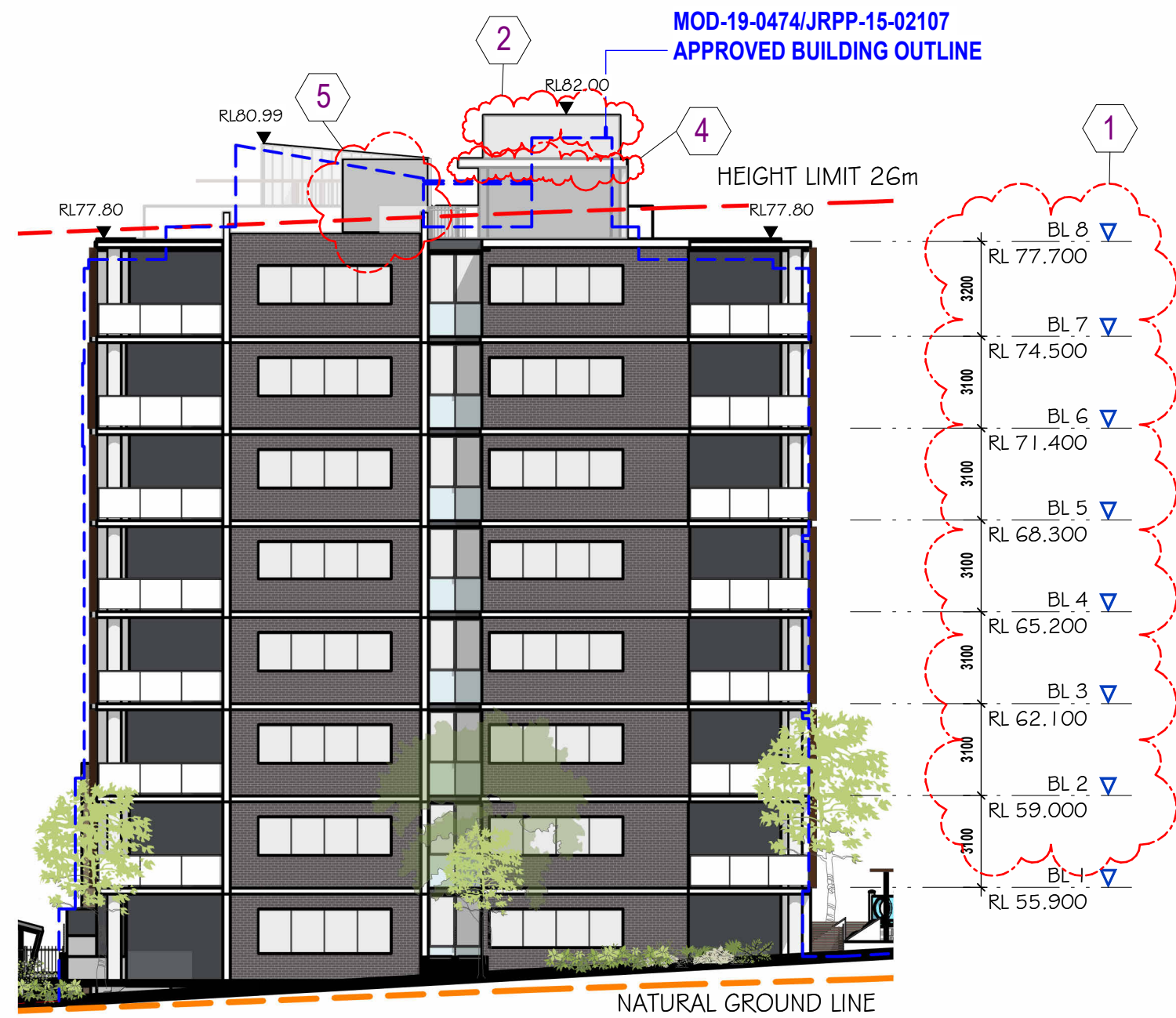
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PROJECT STATUS :
SECTION 4.55

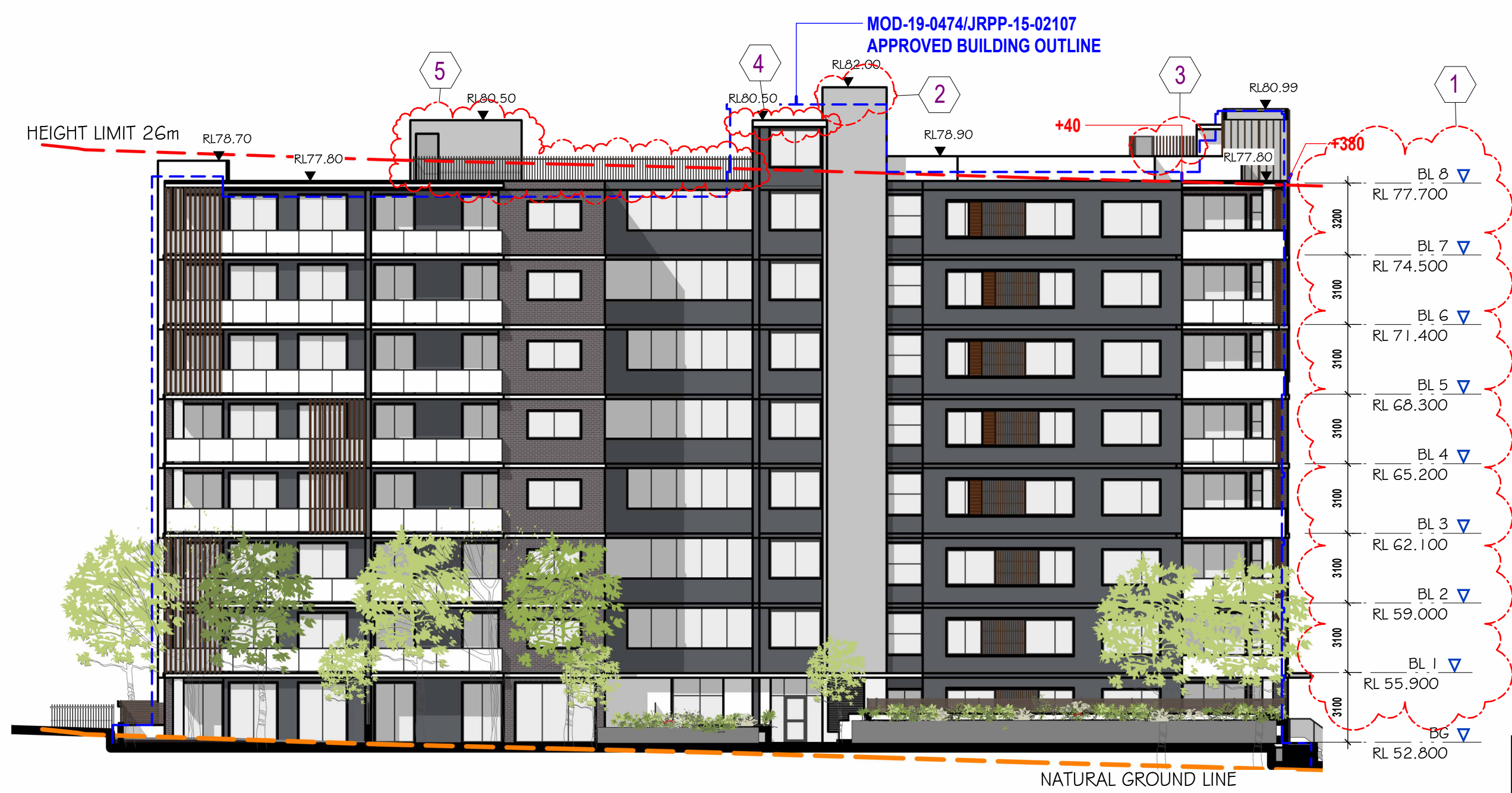
PROJECT NAME
**PROPOSED RESIDENTIAL
DEVELOPMENT**
38 CUDGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
ELEVATIONS - BLOCK A
As indicated @ A1 sheet
SCALE
8330
JOB No.
DA301
DRAWING No.
K
ISSUE



NORTH ELEVATION - BLOCK B

1 : 200 @ A1 sheet
1 : 400 @ A3 sheet



WEST ELEVATION - BLOCK B

1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

NOTE:
HEIGHT LIMIT LINES INDICATED
AT BUILDING FACE U.N.O.

Blacktown City Council

DEVELOPMENT CONSENT
MOD-23-00462
Issued 29/12/2023

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Kerry Robinson, OAM
Chief Executive Officer



SOUTH ELEVATION - BLOCK B

1 : 200 @ A1 sheet
1 : 400 @ A3 sheet



EAST ELEVATION - BLOCK B

1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

- SUMMARY OF PROPOSED MODIFICATIONS:**
- 1 - FLOOR TO FLOOR HEIGHTS ADJUSTED AS CLOUDED TO COMPLY WITH ADG REQUIREMENTS
 - 2 - SECOND LIFT ADDED TO ADG REQUIREMENTS AS CLOUDED
 - 3 - HOT WATER UNIT SCREENS SHOWN TO MATCH PREVIOUSLY APPROVED PLANS AS CLOUDED
 - 4 - ROOF LOBBY HEIGHTS REDUCED AS CLOUDED
 - 5 - STAIRS EXTENDED TO ROOFS & FIRE EGRESS PATH FENCING INDICATED AS CLOUDED FOR BCA COMPLAINE
 - 6 - GENERAL - EXTERNAL ROUND COLUMNS ADDED TO BALCONY CORNERS

LEGEND

+150 INDICATES HEIGHT OF HABITABLE PORTION OF BUILDING ABOVE 26m HEIGHT PLANE (IN MILLIMETRES)

STAGE 2

COPYRIGHT & GENERAL NOTE :

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J	RE-ISSUED FOR SECTION 4.55	27/09/23	PN,BC	TR,PN
I	ISSUED FOR SECTION 4.55	07/07/23	PN,BC	TR,PN
H	ISSUED FOR SECTION 4.55	19/10/21	VV	RKK
G	ISSUED FOR SECTION 4.55(1A)	14/12/19	VV,JA	RKK
F	ISSUED FOR SECTION 4.55(1A)	24/04/19	VV	RKK
ISSUE	AMENDMENT	DATE	DRAWN	CHECK

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PROJECT STATUS :
SECTION 4.55

PROJECT NAME
**PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155**
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
ELEVATIONS - BLOCK B
As indicated @ A1 sheet
SCALE
8330
JOB No.
DA302
DRAWING No.
K
ISSUE



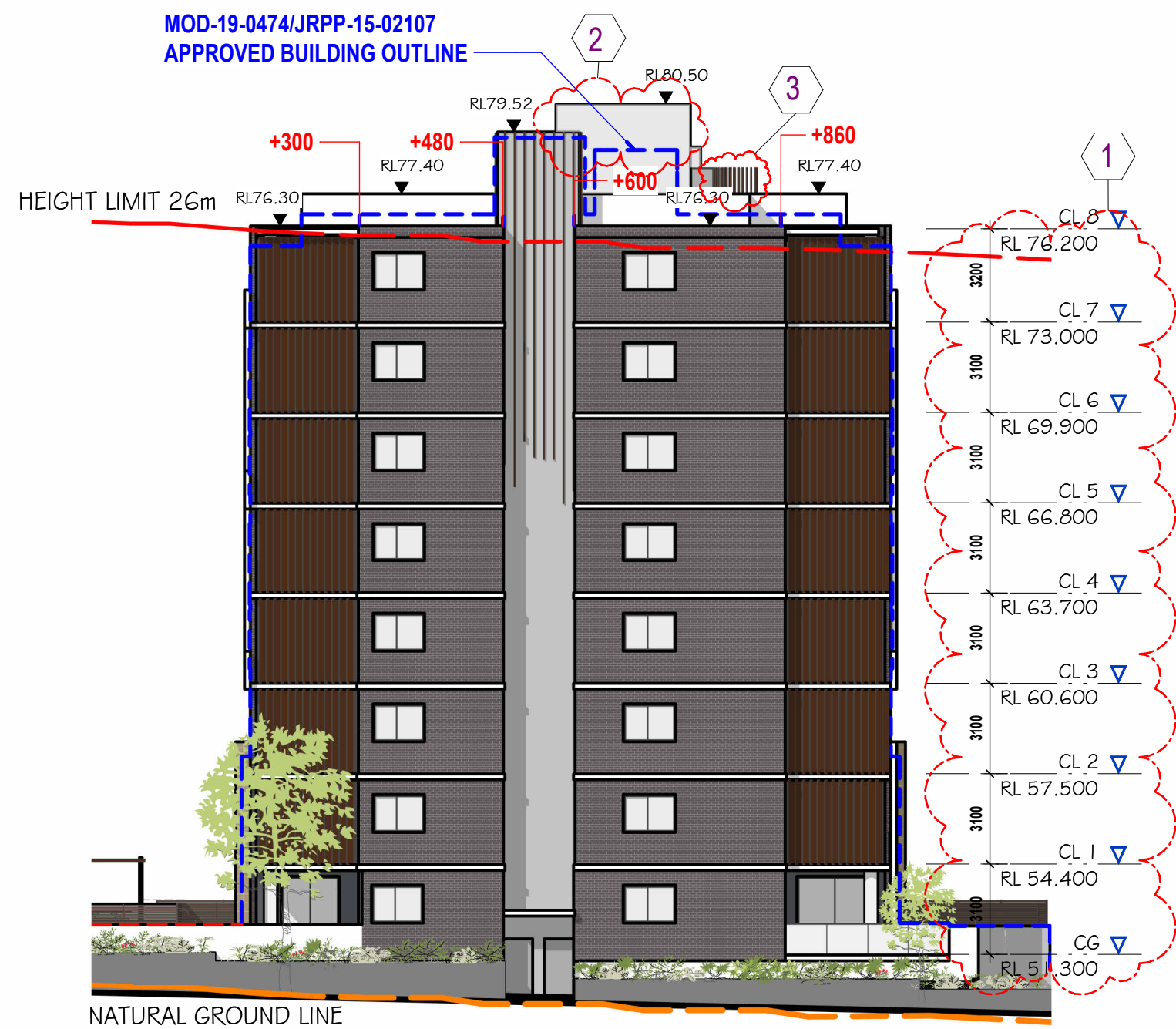
NORTH ELEVATION - BLOCK C
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet



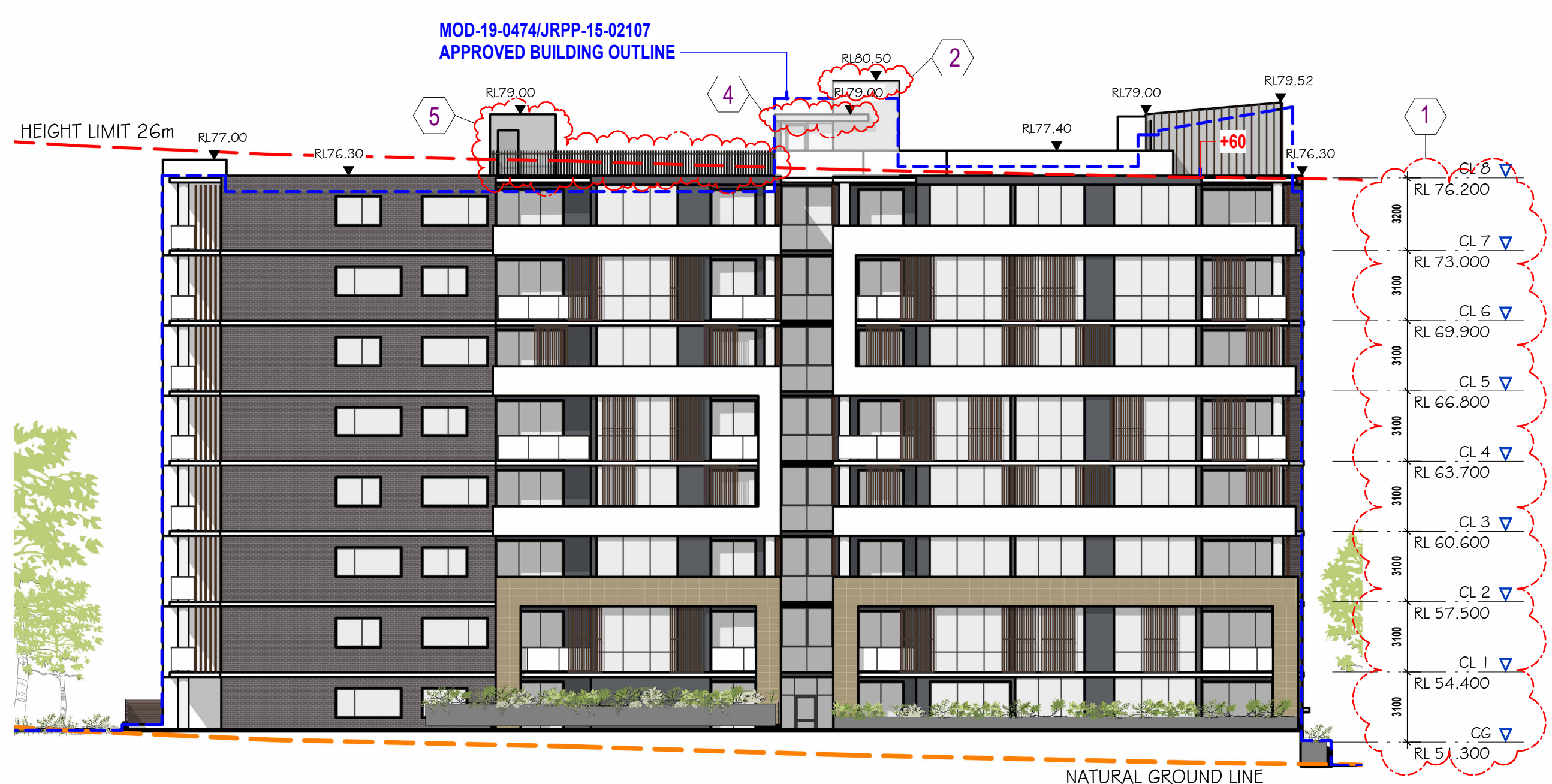
EAST ELEVATION - BLOCK C
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

NOTE:
HEIGHT LIMIT LINES INDICATED
AT BUILDING FACE U.N.O.


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MOD-23-00462
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Kerry Robinson, OAM
Chief Executive Officer



SOUTH ELEVATION - BLOCK C
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet



WEST ELEVATION - BLOCK C
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

LEGEND
+150 INDICATES HEIGHT OF HABITABLE PORTION OF BUILDING ABOVE 26m HEIGHT PLANE (IN MILLIMETRES)

STAGE 1

- SUMMARY OF PROPOSED MODIFICATIONS:**
- 1 - FLOOR TO FLOOR HEIGHTS ADJUSTED AS CLOUDED TO COMPLY WITH ADG REQUIREMENTS
 - 2 - SECOND LIFT ADDED TO ADG REQUIREMENTS AS CLOUDED
 - 3 - HOT WATER UNIT SCREENS SHOWN TO MATCH PREVIOUSLY APPROVED PLANS AS CLOUDED
 - 4 - ROOF LOBBY HEIGHTS REDUCED AS CLOUDED
 - 5 - STAIRS EXTENDED TO ROOFS & FIRE EGRESS PATH FENCING INDICATED AS CLOUDED FOR BCA COMPLIANCE
 - 6 - GENERAL - EXTERNAL ROUND COLUMNS ADDED TO BALCONY CORNERS

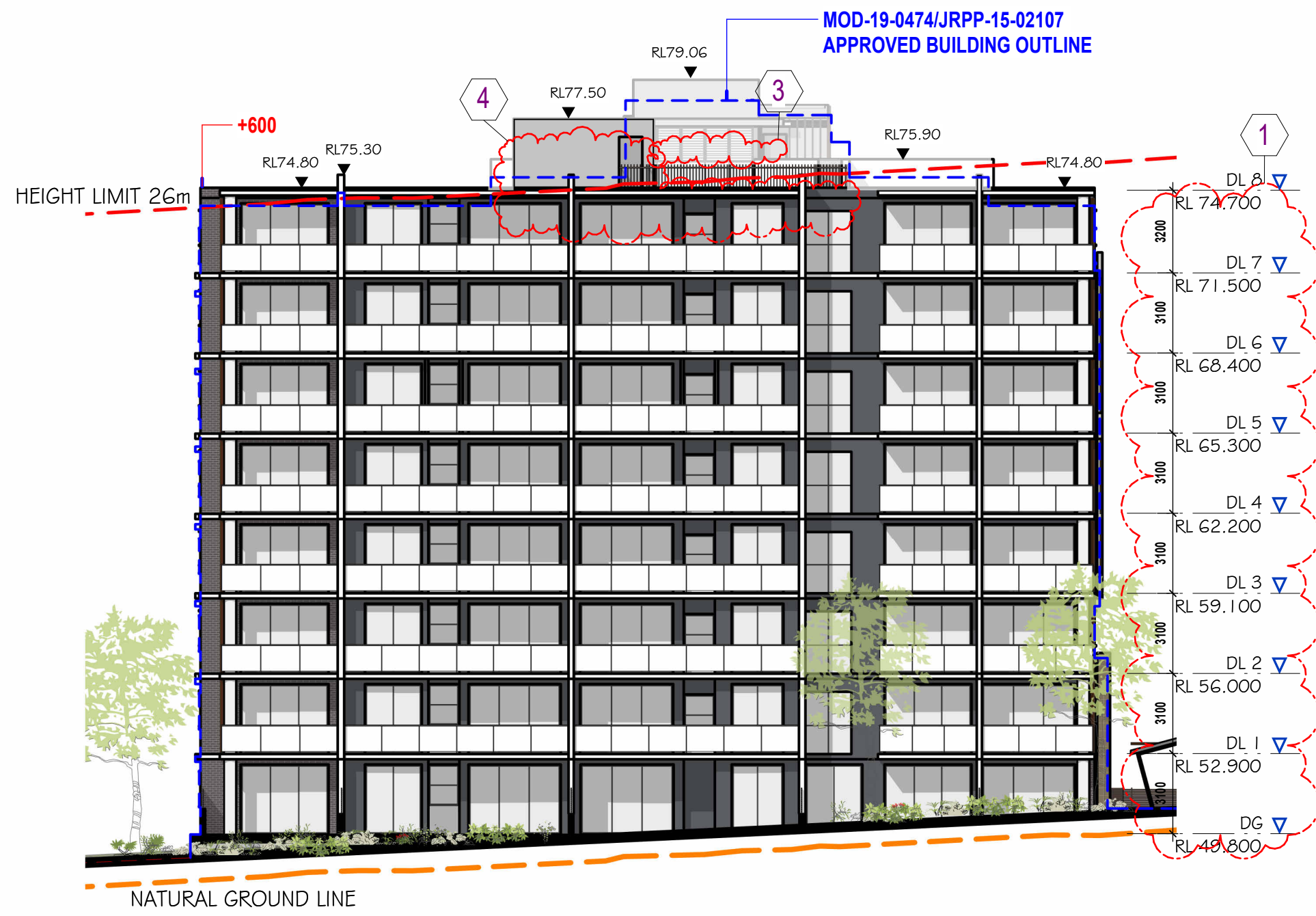
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I	ISSUED FOR SECTION 4.55	07/07/23	PN,BC	TR,PN	
H	ISSUED FOR SECTION 4.55	19/10/21	VV	RKK	
G	ISSUED FOR SECTION 4.55(1A)	14/12/19	VV,JA	RKK	
F	ISSUED FOR SECTION 4.55(1A)	24/04/19	VV	RKK	
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PROJECT STATUS :
SECTION 4.55

PROJECT NAME
PROPOSED RESIDENTIAL DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
ELEVATIONS - BLOCK C
As indicated @ A1 sheet
SCALE
8330
JOB No.
DA303
DRAWING No.
K
ISSUE



NORTH ELEVATION I - BLOCK D

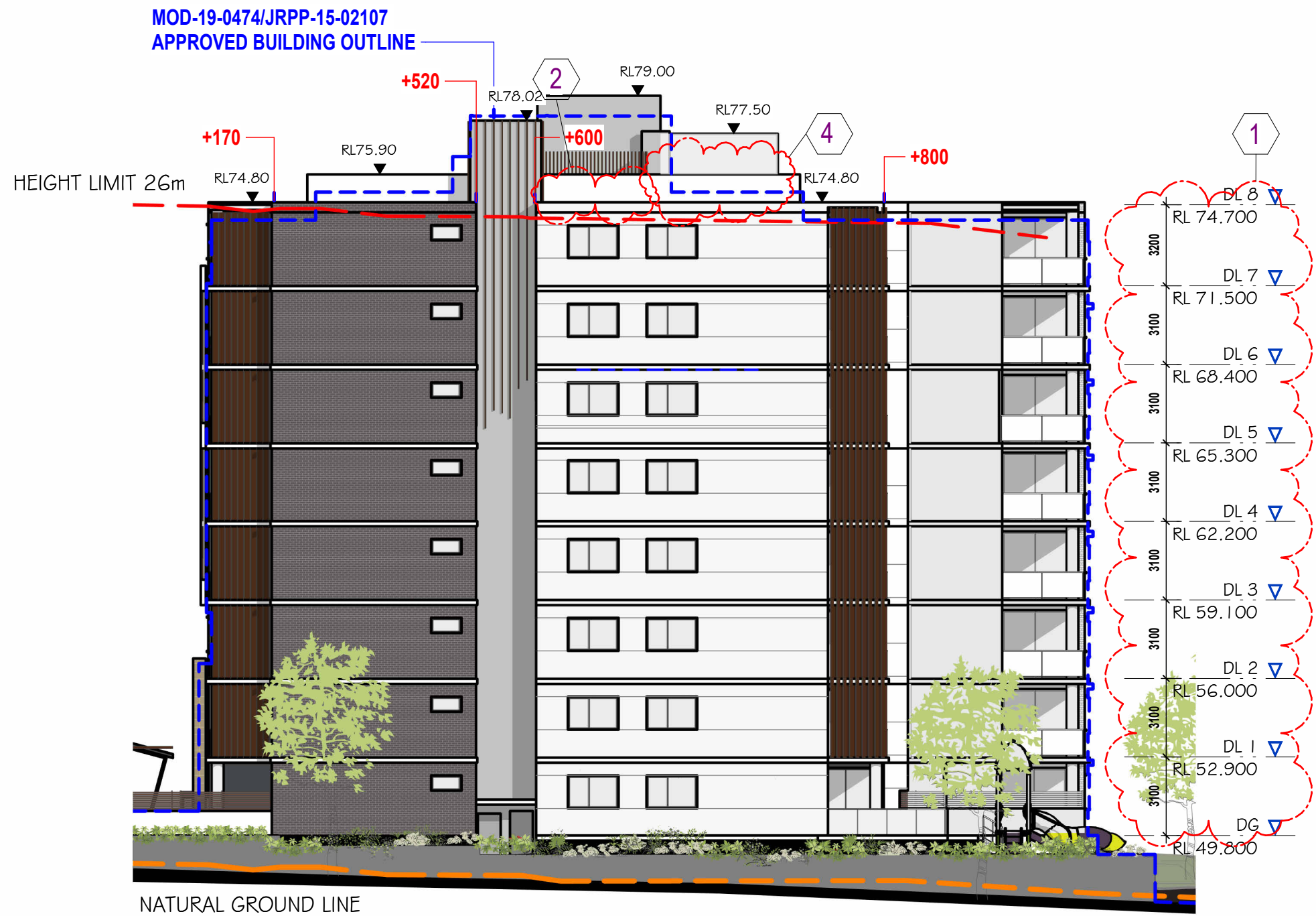
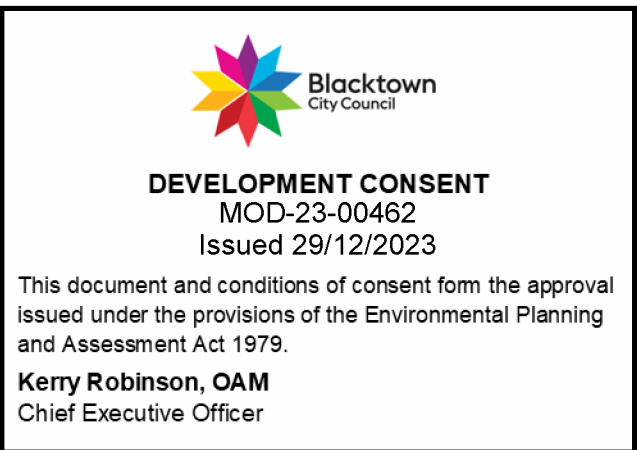
I : 200 @ A1 sheet
I : 400 @ A3 sheet

NOTE:
HEIGHT LIMIT LINES INDICATED
AT BUILDING FACE U.N.O.



WEST ELEVATION - BLOCK D

I : 200 @ A1 sheet
I : 400 @ A3 sheet



SOUTH ELEVATION - BLOCK D

I : 200 @ A1 sheet
I : 400 @ A3 sheet



EAST ELEVATION - BLOCK D

I : 200 @ A1 sheet
I : 400 @ A3 sheet

LEGEND

+150 INDICATES HEIGHT OF HABITABLE PORTION OF BUILDING ABOVE
26m HEIGHT PLANE (IN MILLIMETRES)

STAGE 1

SUMMARY OF PROPOSED MODIFICATIONS:

- 1 - FLOOR TO FLOOR HEIGHTS ADJUSTED AS CLOUDED TO COMPLY WITH ADG REQUIREMENTS
- 2 - HOT WATER UNIT SCREENS SHOWN TO MATCH PREVIOUSLY APPROVED PLANS AS CLOUDED
- 3 - ROOF LOBBY HEIGHTS REDUCED AS CLOUDED
- 4 - STAIRS EXTENDED TO ROOFS & FIRE EGRESS PATH FENCING INDICATED AS CLOUDED FOR BCA COMPLIANCE
- 5 - GENERAL - EXTERNAL ROUND COLUMNS ADDED TO BALCONY CORNERS

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I	ISSUED FOR SECTION 4.55	07/07/23	PN,BC	TR,PN
H	ISSUED FOR SECTION 4.55	19/10/21	VV	RKK
G	ISSUED FOR SECTION 4.55(1A)	14/12/19	VV,JA	RKK
F	ISSUED FOR SECTION 4.55(1A)	24/04/19	VV	RKK
ISSUE	AMENDMENT	DATE	DRAWN	CHECK
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PROJECT STATUS :

SECTION 4.55

PROJECT NAME

PROPOSED RESIDENTIAL

DEVELOPMENT
38 CUDGONG RD
ROUSE HILL, NSW 2155

L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:

ELEVATIONS - BLOCK D

As indicated @ A1 sheet
SCALE

8330 DA304
JOB No. DRAWING No.


K
ISSUE



OVERALL APPROVED WITH 26m HEIGHT PLANE
(MOD-19-0474/JRPP-15-02107)



OVERALL PROPOSED WITH 26m HEIGHT PLANE



Blacktown
City Council

DEVELOPMENT CONSENT
MOD-23-00462
Issued 29/12/2023

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Chief Executive Officer

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A	ISSUED FOR SECTION 4.55	11/08/23	PN,BC	TR,PN
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PROJECT STATUS :
SECTION 4.55

PROJECT NAME
**PROPOSED RESIDENTIAL
DEVELOPMENT**
38 CUDGEGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
HEIGHT STUDIES
@ A1 sheet
SCALE
8330
JOB No.
DA305
DRAWING No.

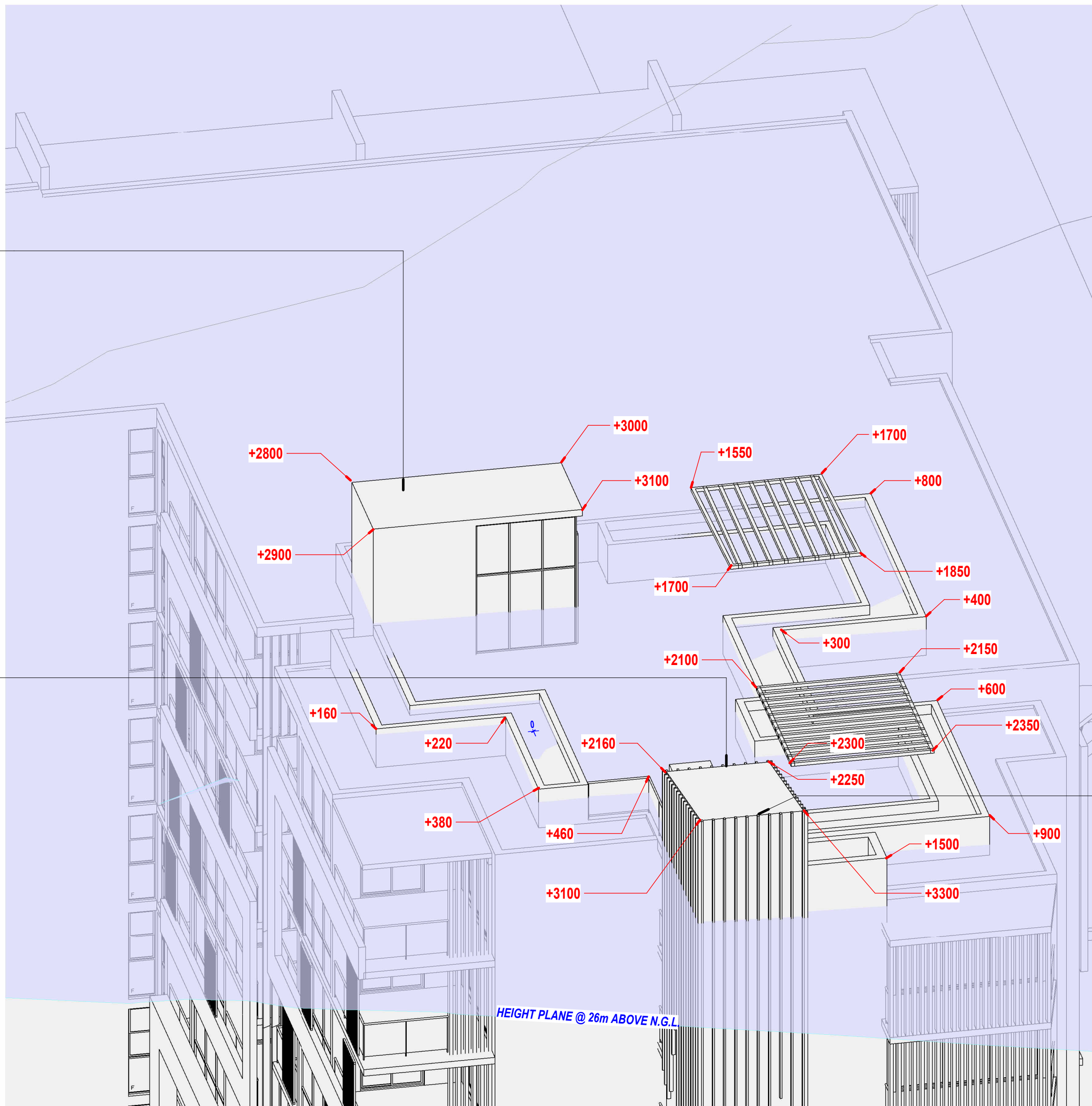
B
ISSUE



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Chief Executive Officer

LIFT OVERRUN &
LOBBY ROOF
APPROVED RL82.20

FIRE STAIR ROOF lower edge
APPROVED RL80.80

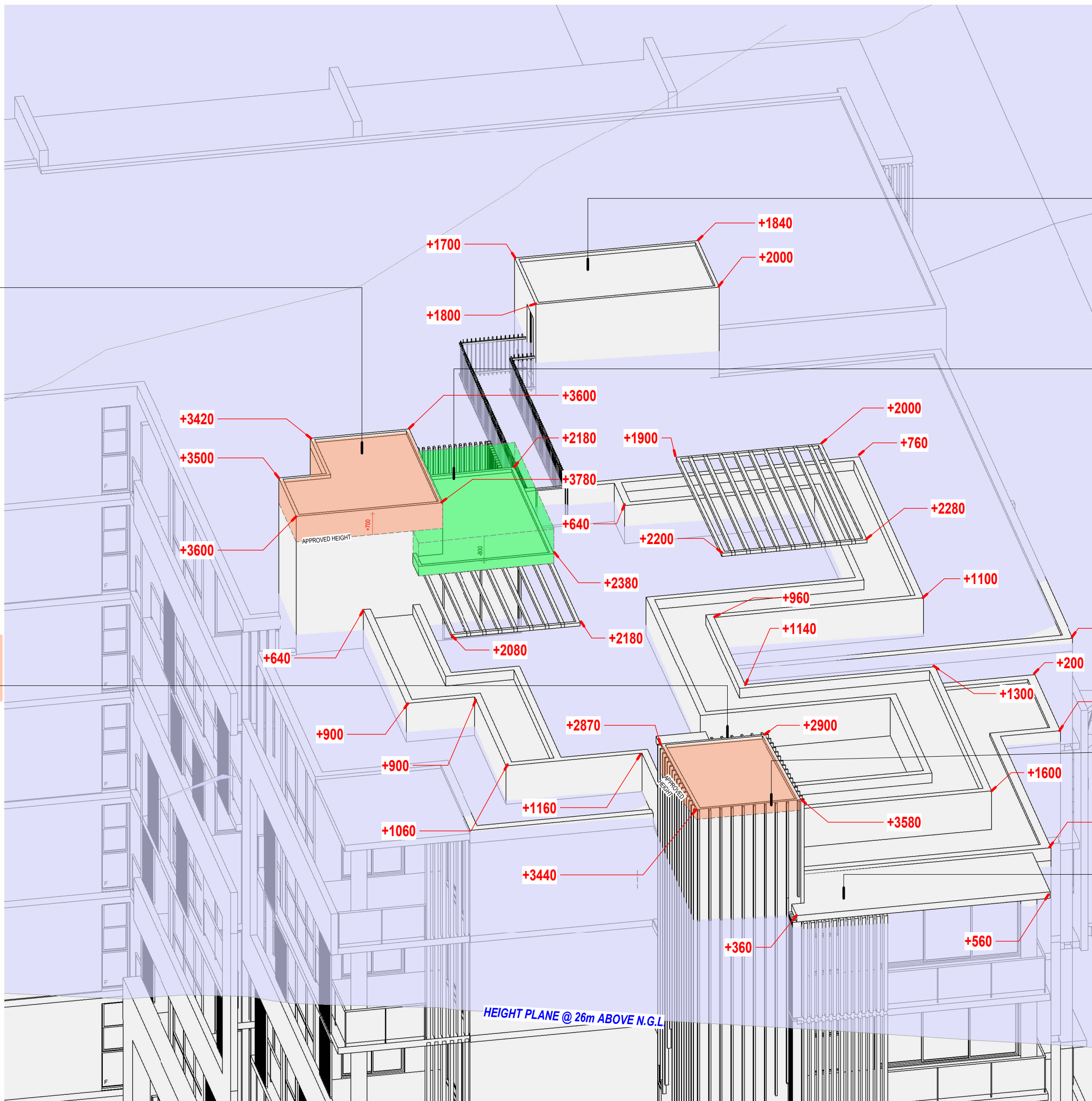


BLOCK A APPROVED WITH 26m HEIGHT PLANE
(MOD-19-0474/JRPP-15-02107)

LIFT OVERRUN
PROPOSED
RL82.90
INCREASE FROM
APPROVED
HEIGHT +700mm

FIRE STAIR ROOF lower edge
PROPOSED RL81.50
INCREASE +700mm

FIRE STAIR ROOF upper edge
APPROVED RL81.63



FIRE ESCAPE STAIR
ENCLOSURE
PROPOSED RL81.40

LOBBY ROOF
PROPOSED RL81.40
DECREASE FROM
APPROVED
HEIGHT -800mm

FIRE STAIR ROOF upper edge
PROPOSED RL81.93
INCREASE +300mm

STAIR
PRESSURIZATION
RISER REMOVED

BLOCK A PROPOSED WITH 26m HEIGHT PLANE

LEGEND

- +3040 INDICATES HEIGHT OF BUILDING ELEMENT ABOVE 26m HEIGHT PLANE (IN MILLIMETRES)
- INDICATES BUILDING ELEMENT WITH HEIGHT DECREASED FROM APPROVED
- INDICATES BUILDING ELEMENT WITH HEIGHT INCREASED FROM APPROVED

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B RE-ISSUED FOR SECTION 4.55
A ISSUED FOR SECTION 4.55
ISSUE AMENDMENT

27/09/23
11/08/23
DATE

PN,BC
PN,BC
DRAWN CHECK

TR,PN
TR,PN
CHECK

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www.zhinarch.com.au / w
28 495 869 780 / abm

PROJECT STATUS :
SECTION 4.55

PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
HEIGHT STUDY BLOCK A
1 : 1 @ A1 sheet
SCALE
8330
JOB No.
DA309
DRAWING No.
B
ISSUE



Blacktown
City Council

DEVELOPMENT CONSENT

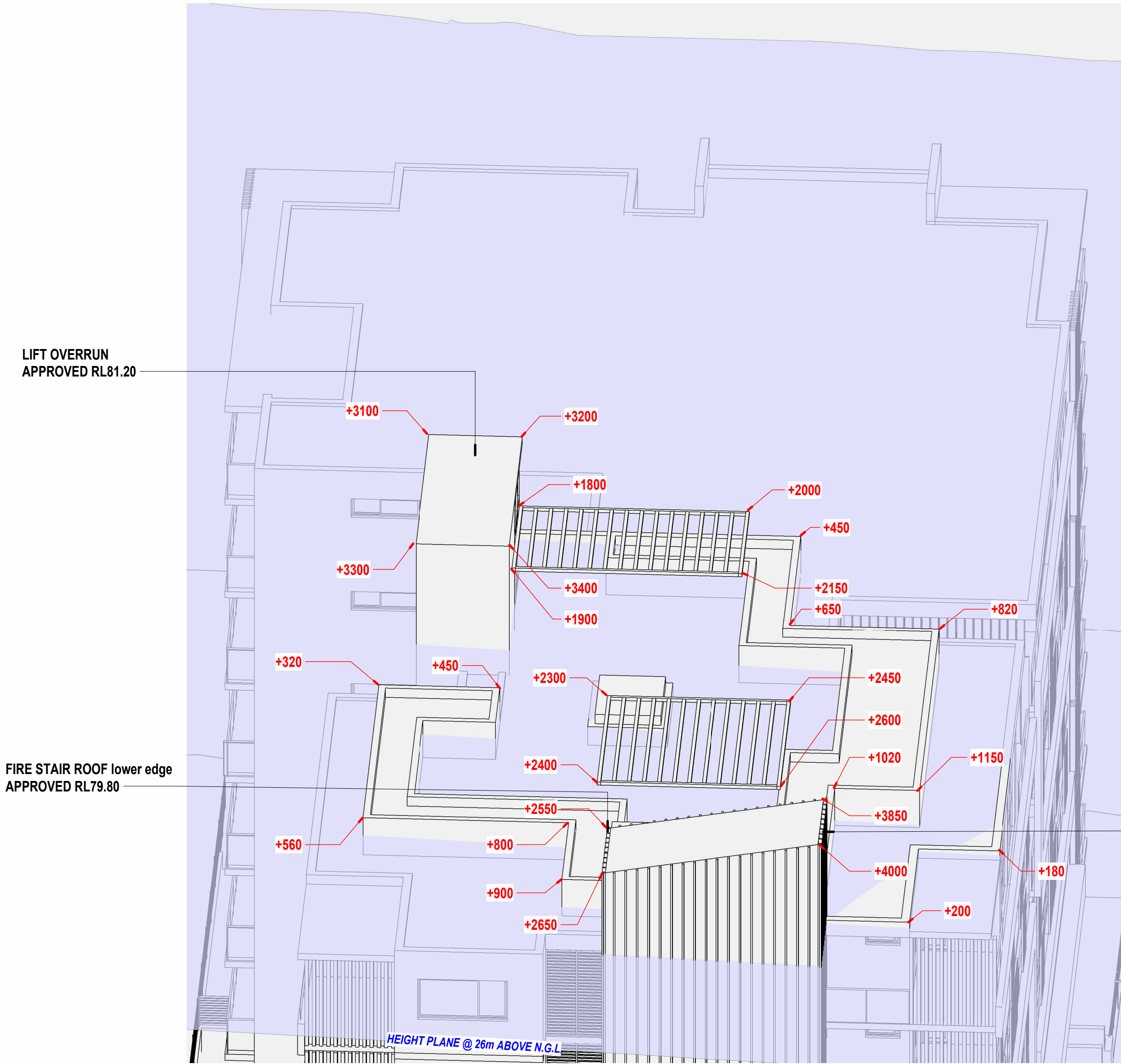
MOD-23-00462

Issued 29/12/2023

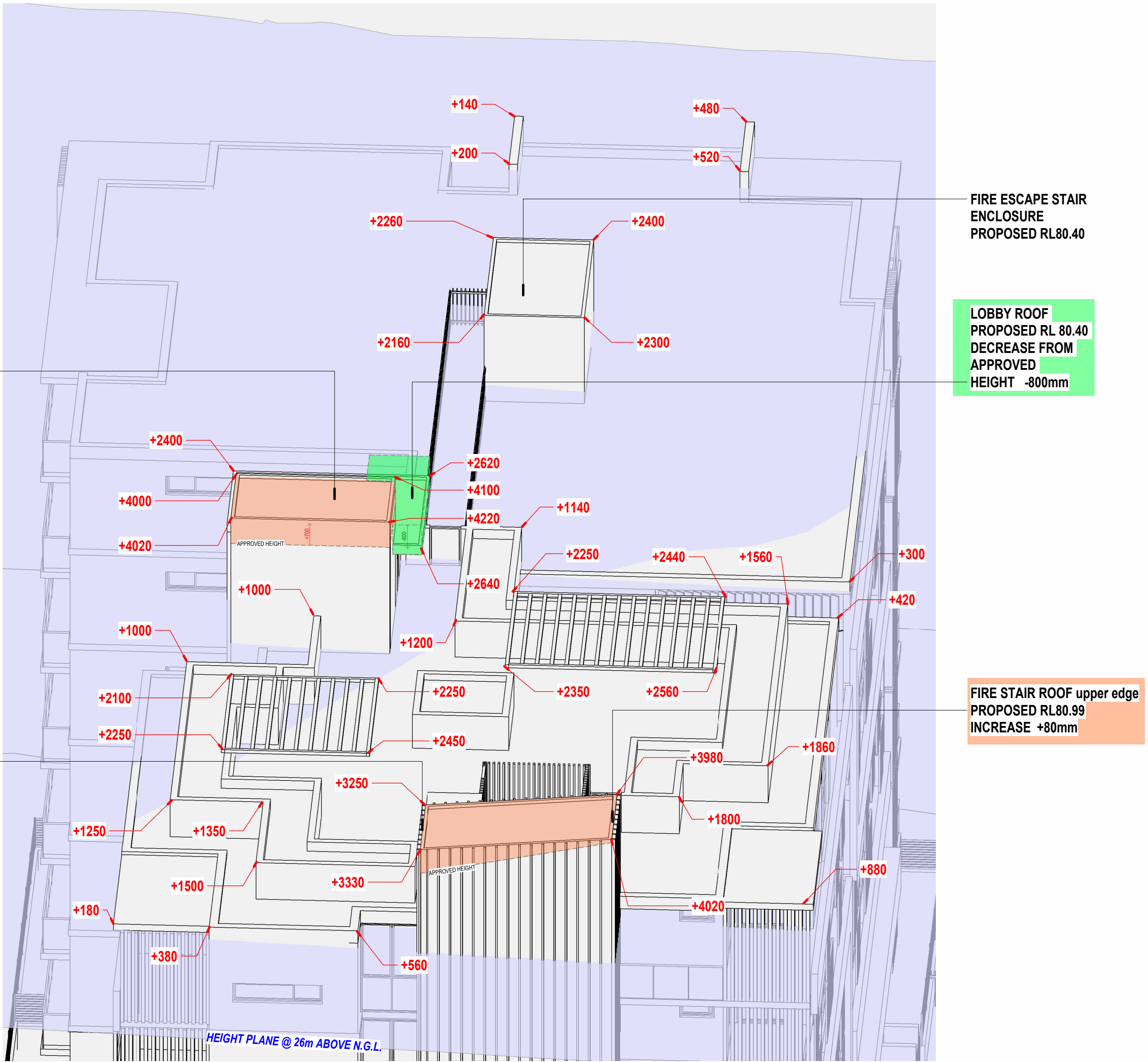
This document and conditions of consent form the approval issued under the provisions of the Environmental Planning and Assessment Act 1979.

Kerry Robinson, OAM

Chief Executive Officer



BLOCK B APPROVED WITH 26m HEIGHT PLANE
(MOD-19-0474/JRPP-15-02107)



BLOCK B PROPOSED WITH 26m HEIGHT PLANE

- LEGEND
- +3040 INDICATES HEIGHT OF BUILDING ELEMENT ABOVE 26m HEIGHT PLANE (IN MILLIMETRES)
 - INDICATES BUILDING ELEMENT WITH HEIGHT DECREASED FROM APPROVED
 - INDICATES BUILDING ELEMENT WITH HEIGHT INCREASED FROM APPROVED

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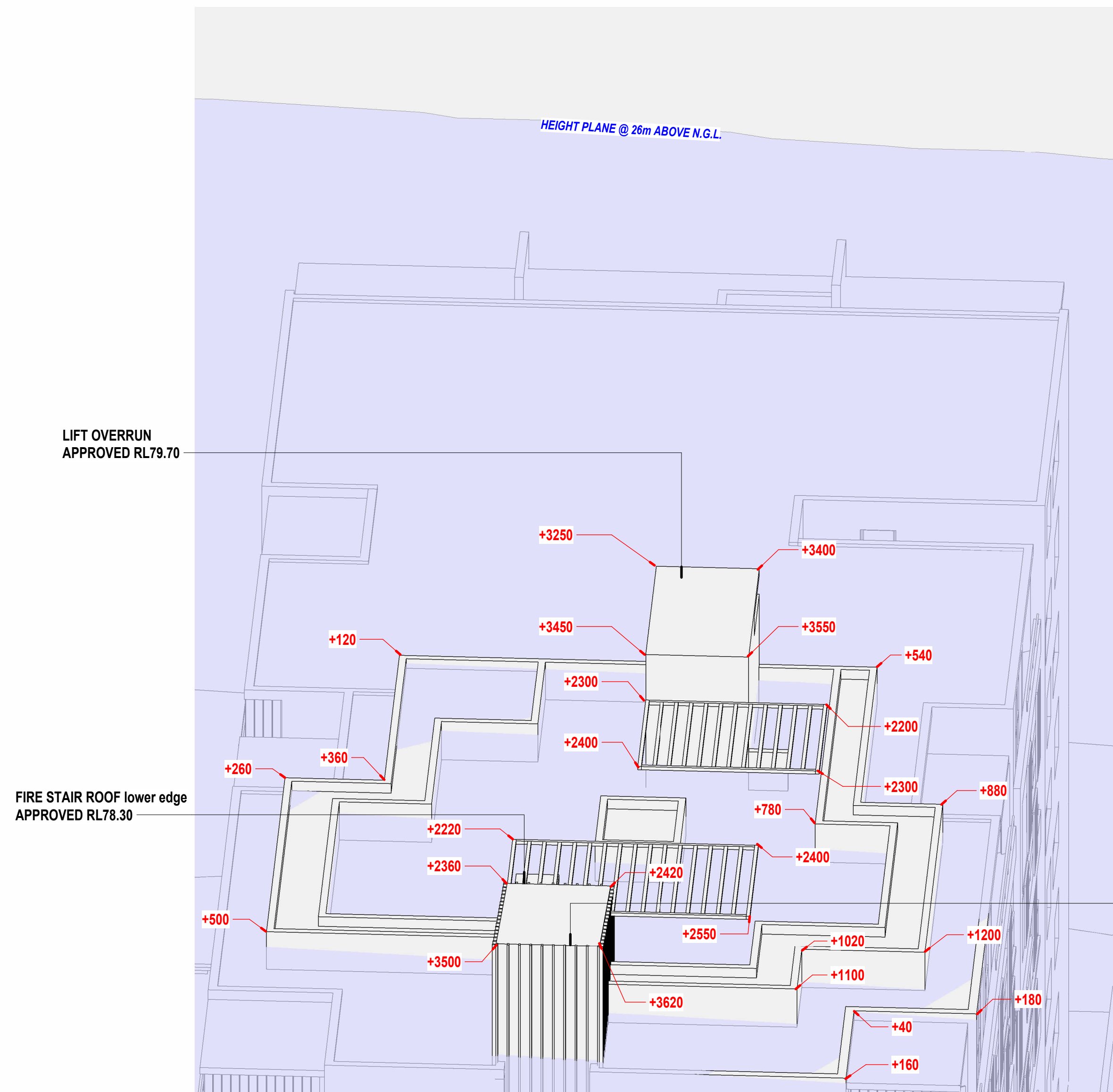
B	RE-ISSUED FOR SECTION 4.55	27/09/23	PN,BC	TR,PN
A	ISSUED FOR SECTION 4.55	11/08/23	PN,BC	TR,PN
ISSUE	AMENDMENT	DATE	DRAWN	CHECK
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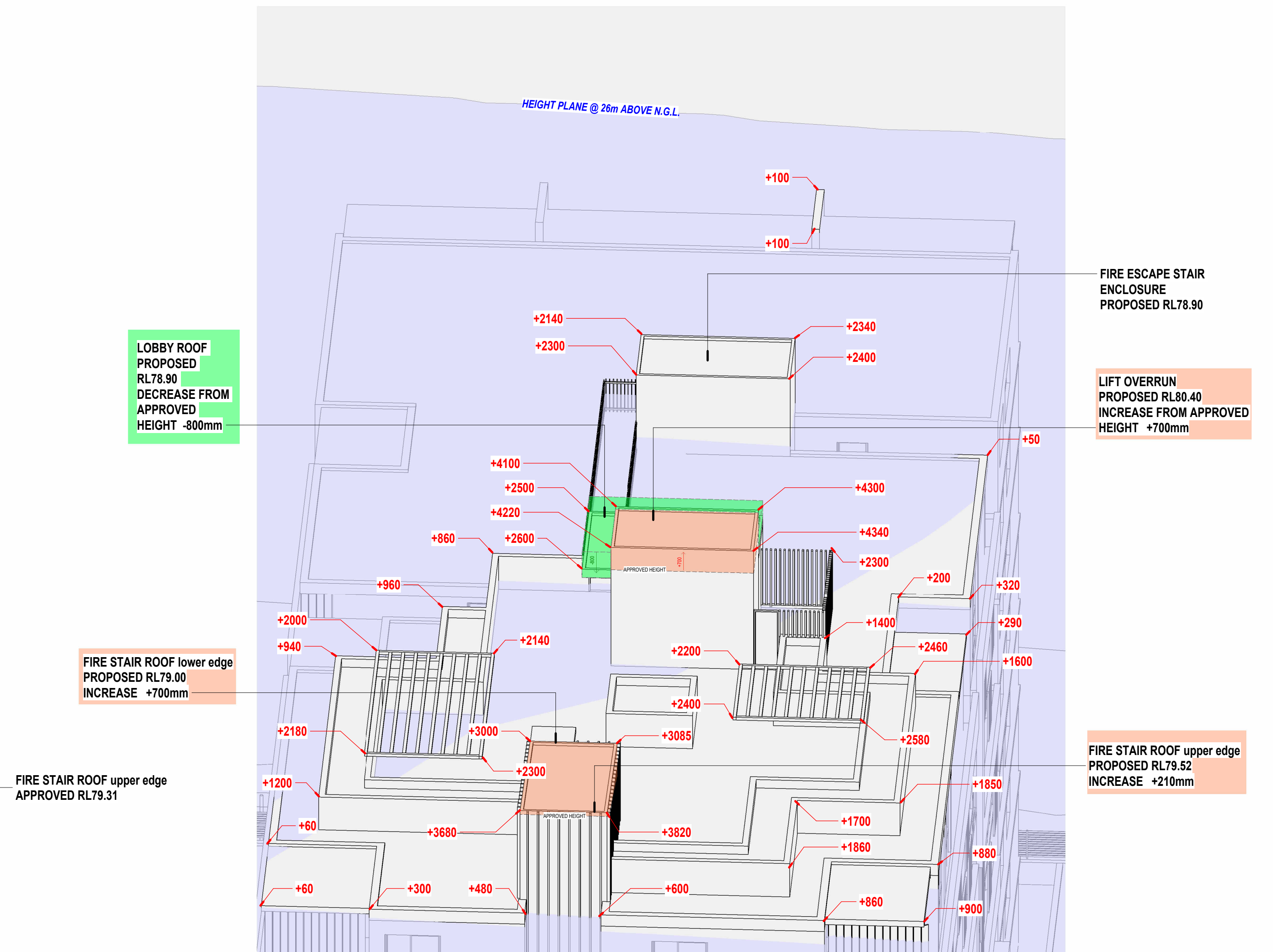
PROJECT STATUS :
SECTION 4.55

PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
HEIGHT STUDY BLOCK B
1 : 1 @ A1 sheet
SCALE
8330 DA310
JOB No. DRAWING No. B
ISSUE





BLOCK C APPROVED WITH 26m HEIGHT PLANE
(MOD-19-0474/JRPP-15-02107)



ENLARGED 26m HEIGHT LIMIT BLOCK C PROPOSED

LEGEND

- | | |
|---|--|
| +3040 | INDICATES HEIGHT OF BUILDING ELEMENT ABOVE 26m HEIGHT PLANE (IN MILLIMETRES) |
|  | INDICATES BUILDING ELEMENT WITH HEIGHT DECREASED FROM APPROVED |
|  | INDICATES BUILDING ELEMENT WITH HEIGHT INCREASED FROM APPROVED |

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B	RE-ISSUED FOR SECTION 4.55
A	ISSUED FOR SECTION 4.55
ISSUE	AMENDMENT

27/09/23
11/08/23
DATE

PN,BC	TR,PN
PN,BC	TR,PN
DRAWN	CHECK

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PROJECT STATUS :

PROJECT STATUS :
SECTION 4.55

PROJECT NAME

PROJECT NAME
PROPOSED RESIDENTIAL

DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155

L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:

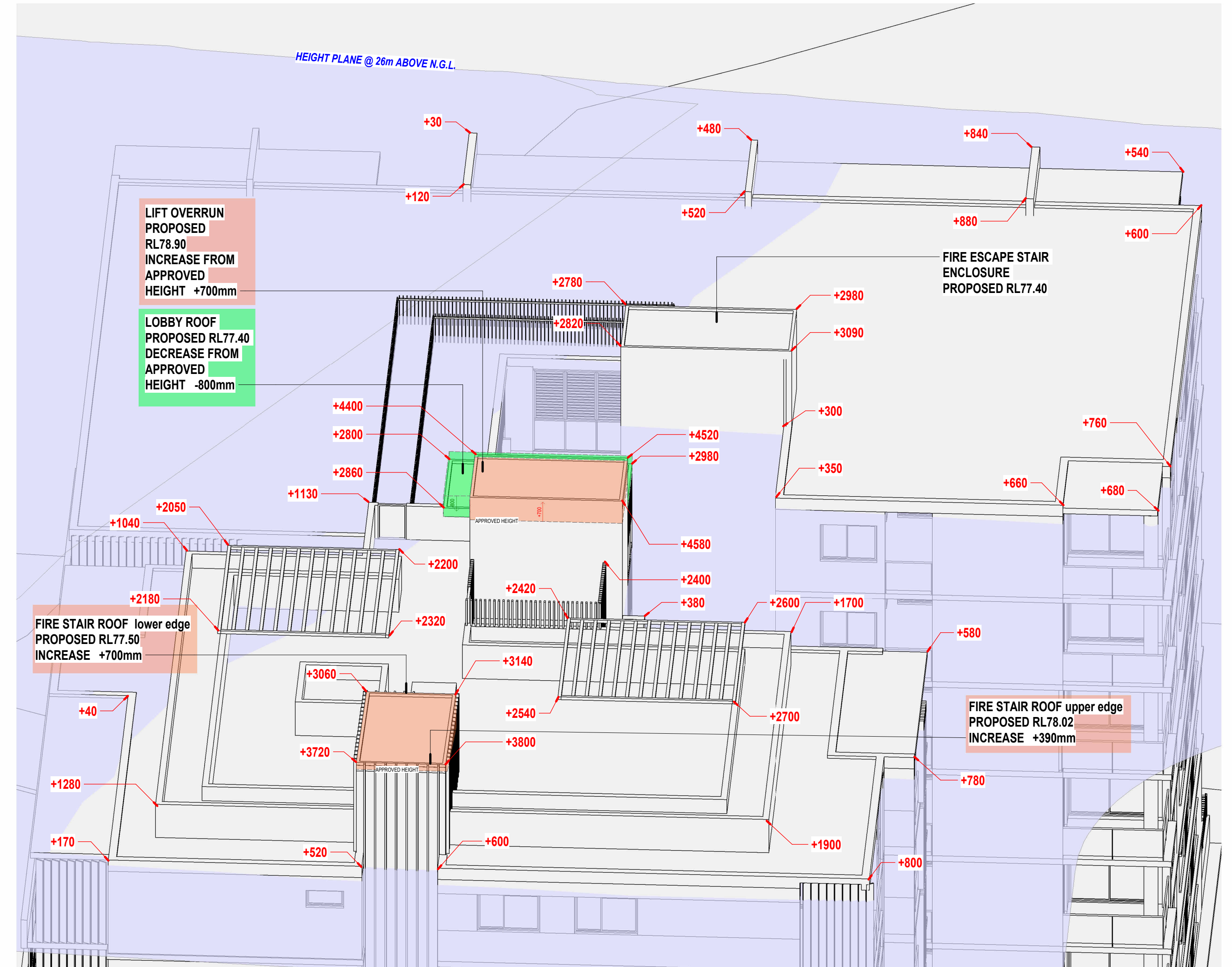
SHEET TITLE:
HEIGHT STUDY BLOCK C

1 : 1 @ A1 sheet
SCALE

8330
JOB No.

DA311
DRAWING No.

B
GUE



BLOCK D PROPOSED WITH 26m HEIGHT PLANE

PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155

1 : 1 @ A1 sheet
SCALE

B
GUE

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B	RE-ISSUED FOR SECTION 4.55
A	ISSUED FOR SECTION 4.55
ISSUE	AMENDMENT

27/09/23
11/08/23
DATE

PN,BC	TR,PN
PN,BC	TR,PN
DRAWN	CHECK

DATE _____ DRAWN _____ CHECK _____
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PROJECT STATUS :

LEGEND

SHADOW OUTLINE OF
PREVIOUSLY APPROVED
3000MM FFL TO FFL HEIGHT

9am on June 21st

10am on June 21st

11am on June 21st

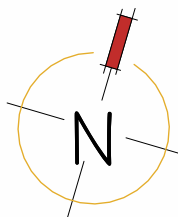
SUMMARY OF PROPOSED MODIFICATIONS:
1 - FLOOR TO FLOOR HEIGHTS REVISED
2 - STAIRS EXTENDED TO ROOFS AND FIRE EGRESS PATHS INDICATED

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H	RE-ISSUED FOR SECTION 4.55
G	ISSUED FOR SECTION 4.55
F	ISSUED FOR SECTION 4.55(1A)
E	RESPONSE TO COUNCIL
D	RESPONSE TO COUNCIL RFI
C	RESPONSE TO COUNCIL RFI
B	RESPONSE TO COUNCIL RFI
A	ISSUE
	AMENDMENT

27/09/23	PN,BC	TR,PN
07/07/23	PN,BC	TR,PN
24/04/19	VV	RKK
06/07/17	CWL	RKK
28/03/17	JA,CW,VV,KK	RKK
22/03/17	JA,CW,VV,KK	RKK
12/12/16	JA,CW,VV,KK	RKK
DATE	DRAWN	CHECK
Drawing is NOT VALID or issued for use, unless checked		



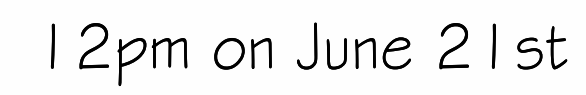
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PROJECT STATUS :
SECTION 4.55


PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
SOLAR STUDIES 1
1 : 700 @ A1 sheet
SCALE
8330 DA401
JOB No. DRAWING No.

H
ISSUE



LEGEND

 SHADOW OUTLINE OF
PREVIOUSLY APPROVED
3000MM FFL TO FFL HEIGHT

SUMMARY OF PROPOSED MODIFICATIONS:

- 1 - FLOOR TO FLOOR HEIGHTS REVISED
- 2 - STAIRS EXTENDED TO ROOFS AND FIRE EGRESS PATHS INDICATED

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<p>Figured dimensions shall be taken in preference to scaling. Drawing to be read in conjunction with information on first page. Check all dimensions and levels on site before commencing work. Ordering materials. All ordering drawings and locations to be confirmed, therefore, to be verified on-site by the builder. Any discrepancies to be verified back to Zhar Architects before proceeding. All workmanship and materials shall comply with all relevant codes, standards and standards. Standards and standards noted issued by the relevant authorities. Construction drawings not to be used for construction. All art/graphic representations are indicative only. Information on this drawing is the copyright of Zhar Architects. Copying or using this drawing in whole or part without written permission infringes copyright.</p>		G <td>R <td>ISSUED FOR SECTION 4.55 <td>07/07/23 <td>PN,BC <td>TR,PN</td> </td></td></td></td>	R <td>ISSUED FOR SECTION 4.55 <td>07/07/23 <td>PN,BC <td>TR,PN</td> </td></td></td>	ISSUED FOR SECTION 4.55 <td>07/07/23 <td>PN,BC <td>TR,PN</td> </td></td>	07/07/23 <td>PN,BC <td>TR,PN</td> </td>	PN,BC <td>TR,PN</td>	TR,PN
		D <td>E <td>ISSUED FOR SECTION 4.55(1A) <td>26/04/19 <td>VV <td>RKK</td> </td></td></td></td>	E <td>ISSUED FOR SECTION 4.55(1A) <td>26/04/19 <td>VV <td>RKK</td> </td></td></td>	ISSUED FOR SECTION 4.55(1A) <td>26/04/19 <td>VV <td>RKK</td> </td></td>	26/04/19 <td>VV <td>RKK</td> </td>	VV <td>RKK</td>	RKK
		D <td>R <td>RESPONSE TO COUNCIL</td> <td>06/07/17</td> <td>CWL</td> <td>RKK</td> </td>	R <td>RESPONSE TO COUNCIL</td> <td>06/07/17</td> <td>CWL</td> <td>RKK</td>	RESPONSE TO COUNCIL	06/07/17	CWL	RKK
		C <td>R <td>RESPONSE TO COUNCIL RPI</td> <td>28/03/17</td> <td>JA,CW,VV,KK</td> <td>RKK</td> </td>	R <td>RESPONSE TO COUNCIL RPI</td> <td>28/03/17</td> <td>JA,CW,VV,KK</td> <td>RKK</td>	RESPONSE TO COUNCIL RPI	28/03/17	JA,CW,VV,KK	RKK
		B <td>R <td>RESPONSE TO COUNCIL RPI</td> <td>22/03/17</td> <td>JA,CW,VV,KK</td> <td>RKK</td> </td>	R <td>RESPONSE TO COUNCIL RPI</td> <td>22/03/17</td> <td>JA,CW,VV,KK</td> <td>RKK</td>	RESPONSE TO COUNCIL RPI	22/03/17	JA,CW,VV,KK	RKK
	A <td>B <td>RESPONSE TO COUNCIL RPI</td> <td>20/12/16</td> <td>JA,CW,VV,KK</td> <td>RKK</td> </td>	B <td>RESPONSE TO COUNCIL RPI</td> <td>20/12/16</td> <td>JA,CW,VV,KK</td> <td>RKK</td>	RESPONSE TO COUNCIL RPI	20/12/16	JA,CW,VV,KK	RKK	
	ISSUE	AMENDMENT			DATE	DRAWN	CHECK

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PROJECT STATUS :
SECTION 4.55

PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
SOLAR STUDIES 2

1 : 700 @ A1 sheet
SCALE

8330 DA402 G
JOB No. DRAWING No. ISSUE

3pm on June 21st



LEGEND

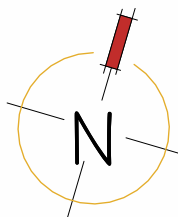
SHADOW OUTLINE OF
PREVIOUSLY APPROVED
3000MM FFL TO FFL HEIGHT

SUMMARY OF PROPOSED MODIFICATIONS:
1 - FLOOR TO FLOOR HEIGHTS REVISED
2 - STAIRS EXTENDED TO ROOFS AND FIRE EGRESS PATHS INDICATED

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H	RE-ISSUED FOR SECTION 4.55
G	ISSUED FOR SECTION 4.55
F	ISSUED FOR SECTION 4.55(1A)
E	RESPONSE TO COUNCIL
D	RESPONSE TO COUNCIL RFI
C	RESPONSE TO COUNCIL RFI
B	RESPONSE TO COUNCIL RFI
ISSUE	AMENDMENT

27/09/23	PN,BC	TR,PN
07/07/23	PN,BC	TR,PN
24/04/19	VV	RKK
06/07/17	OWL	RKK
28/03/17	JA,CW,VV,KK	RKK
22/03/17	JA,CW,VV,KK	RKK
12/12/16	JA,CW,VV,KK	RKK
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PROJECT STATUS :
SECTION 4.55

PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
38 CUDGONG RD
ROUSE HILL, NSW 2155
L.G.A : BLACKTOWN CITY COUNCIL

SHEET TITLE:
SOLAR STUDIES 3
SCALE
1 : 700 @ A1 sheet
8330 DA403
JOB No. DRAWING No.

This document and conditions of consent form the approval issued under the provisions of the Environmental Planning and Assessment Act 1979.

Kerry Robinson, OAM
Chief Executive Officer



1 - GENERAL - SLAB EDGES REVISED
2 - GENERAL - EXTERNAL ROUND COLUMNS ADDED TO BALCONY CORNERS

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H	ISSUED FOR SECTION 4.55	07/07/23	PN,BC	TR,PN
G	ISSUED FOR SECTION 4.55(1A)	14/11/29	VV,JA	RKK
F	ISSUED FOR SECTION 4.55(1A)	24/04/19	VV	RKK
E	RESPONSE TO COUNCIL	06/07/17	CWL	RKK
D	RESPONSE TO COUNCIL RFI	28/03/17	JA,CW,VV,KK	RKK
C	RESPONSE TO COUNCIL RFI	22/03/17	JA,CW,VV,KK	RKK
B	RESPONSE TO COUNCIL RFI	12/11/16	JA,CW,VV,KK	RKK
ISSUE	AMENDMENT	DATE	DRAWN	CHECK

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PROJECT NAME

DEVELOPMENT
38 CUDGEGONG RD
ROUSE HILL, NSW 2155

SHEET TITLE:

As indicated @ All sheet
SCALE

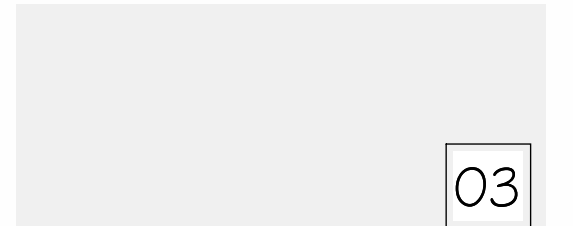
8330	DA404
JOB No.	DRAWING No.



WALL - APPLIED TEXTURE PAINT FINISH
PAINT - DULUX - DRIVE TIME PGI AG



WALL - APPLIED TEXTURE PAINT FINISH
PAINT - DULUX - TRANQUIL RETREAT
PG 1 F1



WALL - APPLIED TEXTURE PAINT FINISH
PAINT - DULUX - LEXICON 'HALF'



FEATURE FRAME
SANDSTONE LOOK FINISH



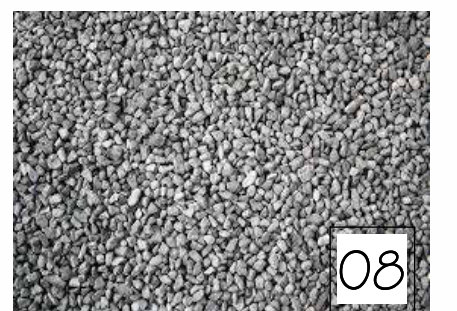
FEATURE WALL
AUSTRAL - INDULGENCE SERIES



ALUMINIUM SLATTED
SCREEN
TIMBER LOOK/BROWN



WINDOW FRAMES, RAILINGS,
STRUCTURAL ITEMS,
POWDERCOATED - DARK GREY



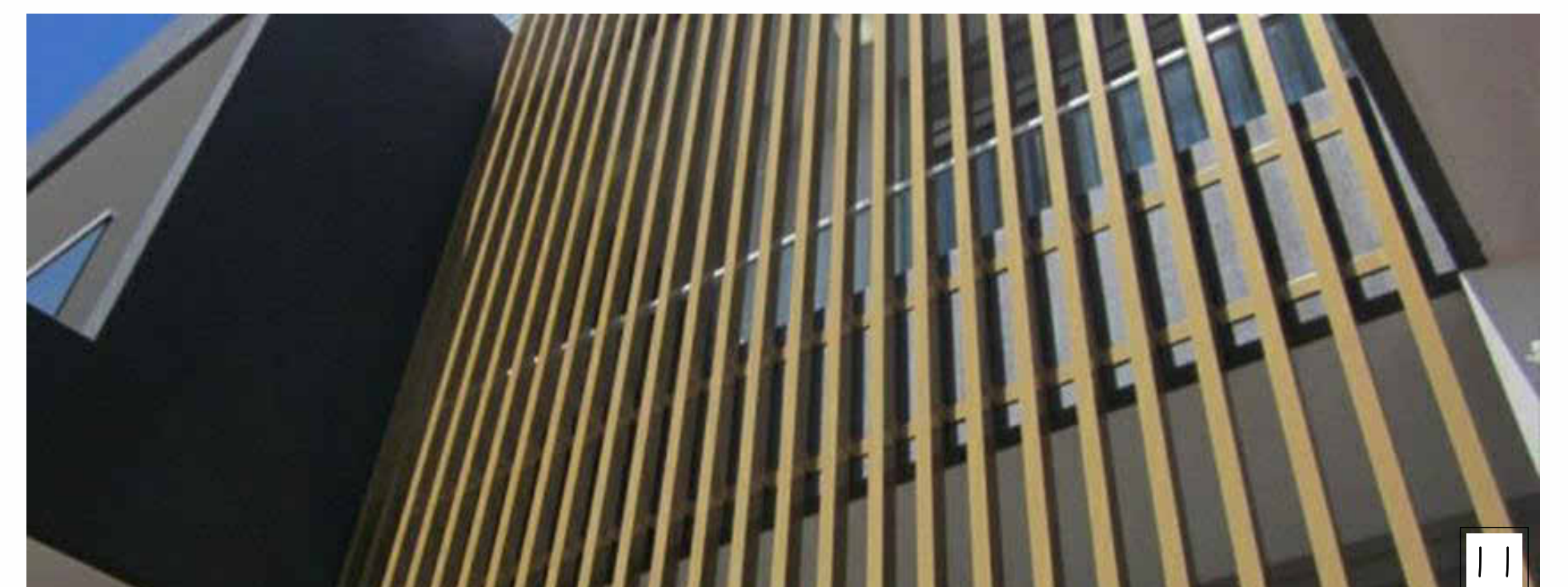
FLAT ROOF
RAVEL FINISH



SUPASLAT PRIVACY SCREEN
TIMBER LOOK/BROWN



GLASS BALUSTRADE
OBSCURE GLASS PANEL



ALUMINIUM VERTICAL SCREEN
POWDER COATED - TIMBER LOOK/BROWN